

Site Plan Special Permit

Pursuant to Town of Acton Zoning By-Law, Section 10.4.1.1

FOR

EXCHANGE HALL 2 School Street

IN

Acton, Massachusetts (Middlesex County)

PREPARED BY:



WATERMAN DESIGN
ASSOCIATES, INC.
31 East Main Street
Westborough, MA 01581
508.366.6552
508.366.6508 (FAX)
WATERMANDSIGN.COM WDA@WDASSOC.COM

OWNER:

MAIN STREET ACTON
CORPORATION &
BLUEBIRD REALTY TRUST
2 School Street
Acton, Massachusetts

APPLICANT:

BLUEBIRD
REALTY TRUST
2 School Street
Acton, Massachusetts

DATE: June 22, 2006 (In Progress)
Revised: August 24 2006 (Initial Issue)
Revised: October 30, 2006 (Town Review Comments)

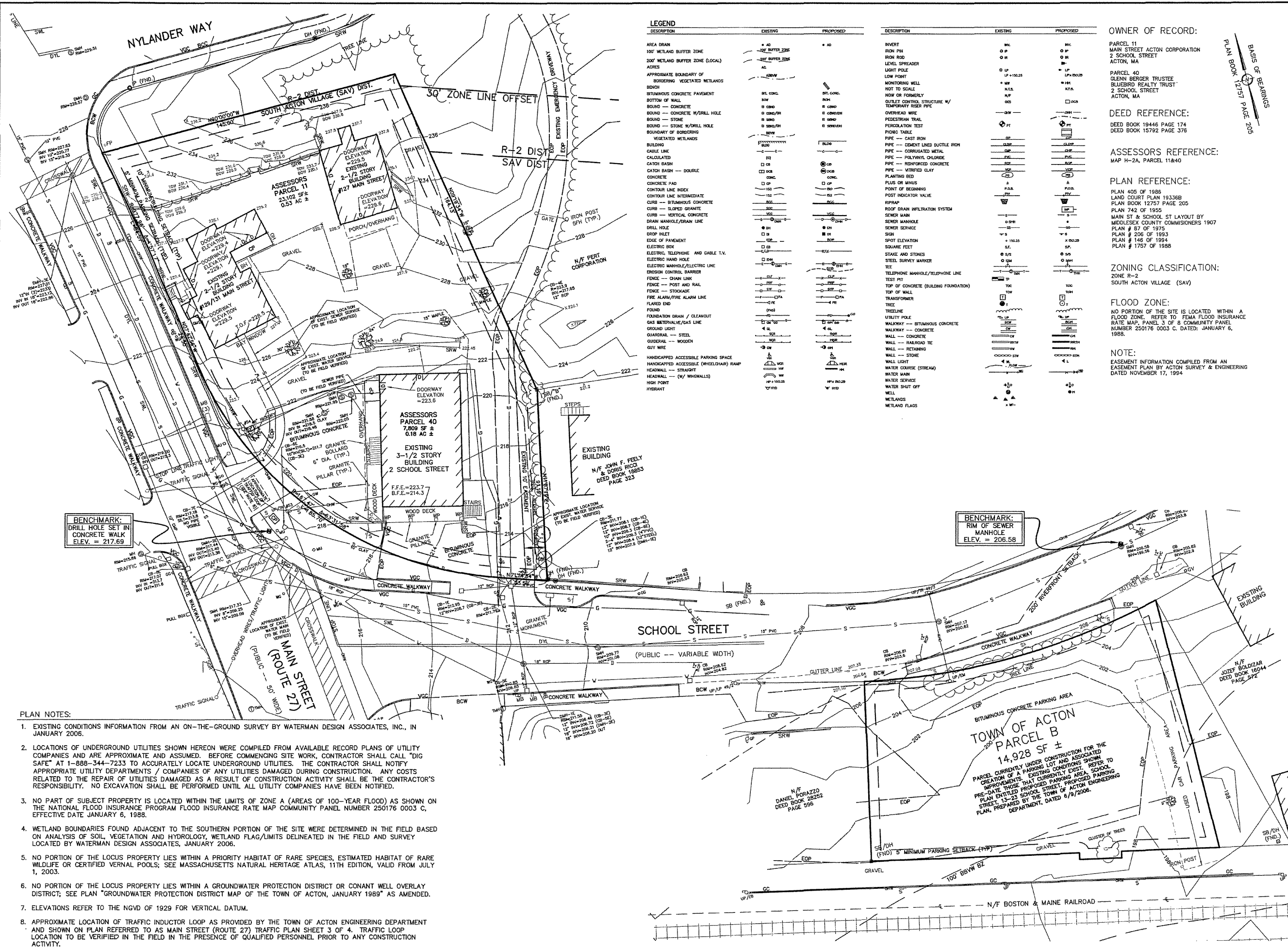
SHEET LIST:

- | | |
|--------------------------------------|-------------|
| 1. COMPILED EXISTING CONDITIONS PLAN | 8. DETAILS |
| 2. SITE PREPARATION PLAN | 9. DETAILS |
| 3. GRADING AND DRAINAGE PLAN | 10. DETAILS |
| 4. UTILITY PLAN | 11. DETAILS |
| 5. LAYOUT AND MATERIALS PLAN | 12. DETAILS |
| 6. PLANTING AND LIGHTING PLAN | |
| 7. DETAILS | |

SITE PLAN SPECIAL PERMIT
APPROVED
ACTON
BOARD OF SELECTMEN

A MAJORITY OF THE BOARD
DATE: _____

DWG. NO.: 0197701C
FILE NO.: 0197700



- PLAN NOTES:**
- EXISTING CONDITIONS INFORMATION FROM AN ON-THE-GROUND SURVEY BY WATERMAN DESIGN ASSOCIATES, INC., IN JANUARY 2006.
 - LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND ARE APPROXIMATE AND ASSUMED. BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-7233 TO ACCURATELY LOCATE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY DEPARTMENTS / COMPANIES OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. ANY COSTS RELATED TO THE REPAIR OF UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE PERFORMED UNTIL ALL UTILITY COMPANIES HAVE BEEN NOTIFIED.
 - NO PART OF SUBJECT PROPERTY IS LOCATED WITHIN THE LIMITS OF ZONE A (AREAS OF 100-YEAR FLOOD) AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 250176 0003 C, EFFECTIVE DATE JANUARY 6, 1988.
 - WETLAND BOUNDARIES FOUND ADJACENT TO THE SOUTHERN PORTION OF THE SITE WERE DETERMINED IN THE FIELD BASED ON ANALYSIS OF SOIL, VEGETATION AND HYDROLOGY. WETLAND FLAG/LIMITS DELINEATED IN THE FIELD AND SURVEY LOCATED BY WATERMAN DESIGN ASSOCIATES, INC., JANUARY 2006.
 - NO PORTION OF THE LOCUS PROPERTY LIES WITHIN A PRIORITY HABITAT OF RARE SPECIES, ESTIMATED HABITAT OF RARE WILDLIFE OR CERTIFIED VERNAL POOLS; SEE MASSACHUSETTS NATURAL HERITAGE ATLAS, 11TH EDITION, VALID FROM JULY 1, 2003.
 - NO PORTION OF THE LOCUS PROPERTY LIES WITHIN A GROUNDWATER PROTECTION DISTRICT OR CONANT WELL OVERLAY DISTRICT; SEE PLAN "GROUNDWATER PROTECTION DISTRICT MAP OF THE TOWN OF ACTON, JANUARY 1989" AS AMENDED.
 - ELEVATIONS REFER TO THE NGVD OF 1929 FOR VERTICAL DATUM.
 - APPROXIMATE LOCATION OF TRAFFIC INDUCTION LOOP AS PROVIDED BY THE TOWN OF ACTON ENGINEERING DEPARTMENT AND SHOWN ON PLAN REFERRED TO AS MAIN STREET (ROUTE 27) TRAFFIC PLAN SHEET 3 OF 4. TRAFFIC LOOP LOCATION TO BE VERIFIED IN THE FIELD IN THE PRESENCE OF QUALIFIED PERSONNEL PRIOR TO ANY CONSTRUCTION ACTIVITY.

LEGEND		DESCRIPTION	
EXISTING	PROPOSED	EXISTING	PROPOSED
AREA DRAIN	100' BUFFER ZONE	INVERT	INV.
100' WETLAND BUFFER ZONE	100' BUFFER ZONE	IRON PILE	IRON PILE
200' WETLAND BUFFER ZONE (LOCAL)	200' BUFFER ZONE	IRON ROD	IRON ROD
ACRES	AC.	LEVEL SPREADER	LEVEL SPREADER
APPROXIMATE BOUNDARY OF	APPROXIMATE BOUNDARY OF	LIGHT POLE	LIGHT POLE
BORDERING VEGETATED WETLANDS	BORDERING VEGETATED WETLANDS	LOW POINT	LOW POINT
BENCH	BENCH	MONITORING WELL	MONITORING WELL
BITUMINOUS CONCRETE PAVEMENT	BITUMINOUS CONCRETE PAVEMENT	NOT TO SCALE	NOT TO SCALE
BOTTOM OF WALL	BOTTOM OF WALL	NOW OR FORMERLY	NOW OR FORMERLY
BOUND - CONCRETE	BOUND - CONCRETE	OUTLET CONTROL STRUCTURE W/	OUTLET CONTROL STRUCTURE W/
BOUND - CONCRETE W/DRILL HOLE	BOUND - CONCRETE W/DRILL HOLE	TEMPORARY RISER PIPE	TEMPORARY RISER PIPE
BOUND - STONE	BOUND - STONE	OVERHEAD WIRE	OVERHEAD WIRE
BOUND - STONE W/DRILL HOLE	BOUND - STONE W/DRILL HOLE	PEDESTRIAN TRAIL	PEDESTRIAN TRAIL
BOUNDARY OF BORDERING	BOUNDARY OF BORDERING	PERCOLATION TEST	PERCOLATION TEST
VEGETATED WETLANDS	VEGETATED WETLANDS	PICNIC TABLE	PICNIC TABLE
BUILDING	BUILDING	PIPE - CAST IRON	PIPE - CAST IRON
CABLE LINE	CABLE LINE	PIPE - COBALT LINED BUTYLE FROM	PIPE - COBALT LINED BUTYLE FROM
CALCULATED	CALCULATED	PIPE - CORRUGATED METAL	PIPE - CORRUGATED METAL
CATCH BASIN	CATCH BASIN	PIPE - POLYVINYL CHLORIDE	PIPE - POLYVINYL CHLORIDE
CATCH BASIN - DOUBLE	CATCH BASIN - DOUBLE	PIPE - REINFORCED CONCRETE	PIPE - REINFORCED CONCRETE
CONCRETE	CONCRETE	PIPE - VITRIFIED CLAY	PIPE - VITRIFIED CLAY
CONCRETE PAD	CONCRETE PAD	PLANTING BED	PLANTING BED
CONTOUR LINE INDEX	CONTOUR LINE INDEX	PLUS OR MINUS	PLUS OR MINUS
CONTOUR LINE INTERMEDIATE	CONTOUR LINE INTERMEDIATE	POINT OF BEGINNING	POINT OF BEGINNING
CURB - BITUMINOUS CONCRETE	CURB - BITUMINOUS CONCRETE	POST INDICATOR VALVE	POST INDICATOR VALVE
CURB - SLOPED GRANITE	CURB - SLOPED GRANITE	RIPRAP	RIPRAP
CURB - VERTICAL CONCRETE	CURB - VERTICAL CONCRETE	ROOF DRAIN INFILTRATION SYSTEM	ROOF DRAIN INFILTRATION SYSTEM
DRAIN MANHOLE/URBAN LINE	DRAIN MANHOLE/URBAN LINE	SEWER MAIN	SEWER MAIN
DRILL HOLE	DRILL HOLE	SEWER MANHOLE	SEWER MANHOLE
DROP INLET	DROP INLET	SEWER SERVICE	SEWER SERVICE
EDGE OF PAVEMENT	EDGE OF PAVEMENT	SIGN	SIGN
ELECTRIC BOX	ELECTRIC BOX	SPOT ELEVATION	SPOT ELEVATION
ELECTRIC TELEPHONE AND CABLE T.V.	ELECTRIC TELEPHONE AND CABLE T.V.	SQUARE FEET	SQUARE FEET
ELECTRIC HAND HOLE	ELECTRIC HAND HOLE	STAKE AND STONES	STAKE AND STONES
ELECTRIC MANHOLE/ELECTRIC LINE	ELECTRIC MANHOLE/ELECTRIC LINE	STEEL SURVEY MARKER	STEEL SURVEY MARKER
EROSION CONTROL BARRIER	EROSION CONTROL BARRIER	TREE	TREE
FENCE - CHAIN LINK	FENCE - CHAIN LINK	TELEPHONE MANHOLE/TELEPHONE LINE	TELEPHONE MANHOLE/TELEPHONE LINE
FENCE - POST AND RAIL	FENCE - POST AND RAIL	TEST PIT	TEST PIT
FENCE - STOCKADE	FENCE - STOCKADE	TOP OF CONCRETE (BUILDING FOUNDATION)	TOP OF CONCRETE (BUILDING FOUNDATION)
FIRE ALARM/FIRE ALARM LINE	FIRE ALARM/FIRE ALARM LINE	TOP OF WALL	TOP OF WALL
FLARE END	FLARE END	TRANSFORMER	TRANSFORMER
FOUND	FOUND	TREE LINE	TREE LINE
FOUNDATION DRAIN / CLEANOUT	FOUNDATION DRAIN / CLEANOUT	UTILITY POLE	UTILITY POLE
GAS METER/VALVE/GAS LINE	GAS METER/VALVE/GAS LINE	WALKWAY - BITUMINOUS CONCRETE	WALKWAY - BITUMINOUS CONCRETE
GROUND LIGHT	GROUND LIGHT	WALKWAY - CONCRETE	WALKWAY - CONCRETE
GUARDRAIL - STEEL	GUARDRAIL - STEEL	WALL - CONCRETE	WALL - CONCRETE
GUARDRAIL - WOODEN	GUARDRAIL - WOODEN	WALL - RAILROAD TIE	WALL - RAILROAD TIE
GUY WIRE	GUY WIRE	WALL - RETAINING	WALL - RETAINING
HANDICAPPED ACCESSIBLE PARKING SPACE	HANDICAPPED ACCESSIBLE PARKING SPACE	WALL - STONE	WALL - STONE
HANDICAPPED ACCESSIBLE (WHEELCHAIR) RAMP	HANDICAPPED ACCESSIBLE (WHEELCHAIR) RAMP	WALL LIGHT	WALL LIGHT
HEADWALL - STRAIGHT	HEADWALL - STRAIGHT	WATER COURSE (STREAM)	WATER COURSE (STREAM)
HEADWALL - (W/ WINGWALLS)	HEADWALL - (W/ WINGWALLS)	WATER MAIN	WATER MAIN
HIGH POINT	HIGH POINT	WATER SERVICE	WATER SERVICE
HYDRANT	HYDRANT	WATER SHUT OFF	WATER SHUT OFF
		WELL	WELL
		WETLANDS	WETLANDS
		WETLAND FLAG	WETLAND FLAG

OWNER OF RECORD:

PARCEL 11
MAIN STREET ACTON CORPORATION
2 SCHOOL STREET
ACTON, MA

PARCEL 40
GLENN BERGER TRUST
BLUEBIRD REALTY TRUST
2 SCHOOL STREET
ACTON, MA

DEED REFERENCE:

DEED BOOK 19446 PAGE 174
DEED BOOK 15792 PAGE 376

ASSESSORS REFERENCE:

MAP H-2A, PARCEL 11&40

PLAN REFERENCE:

PLAN 405 OF 1986
LAND COURT PLAN 19336B
PLAN BOOK 12757 PAGE 205
PLAN 742 OF 1955
MAIN ST & SCHOOL ST LAYOUT BY
MIDDLESEX COUNTY COMMISSIONERS 1907
PLAN # 87 OF 1975
PLAN # 206 OF 1993
PLAN # 146 OF 1994
PLAN # 1757 OF 1988

ZONING CLASSIFICATION:

ZONE R-2
SOUTH ACTON VILLAGE (SAV)

FLOOD ZONE:

NO PORTION OF THE SITE IS LOCATED WITHIN A
FLOOD ZONE. REFER TO FEMA FLOOD INSURANCE
RATE MAP, PANEL 3 OF 8 COMMUNITY PANEL
NUMBER 250176 0003 C, DATED: JANUARY 6,
1988.

NOTE:

EASEMENT INFORMATION COMPILED FROM AN
EASEMENT PLAN BY ACTON SURVEY & ENGINEERING
DATED NOVEMBER 17, 1994

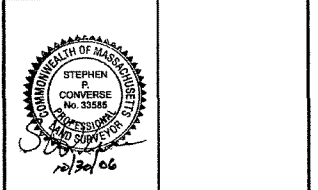
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REV.	DATE	DESCRIPTION	INT.
C	10/20/06	TOWN REVIEW COMMENTS	
B	08/24/06	INITIAL ISSUE	
A		B.O.S. DISCUSSION (PROGRESS)	



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APPLICANT:

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TITLE:

**EXISTING CONDITIONS
PLAN
EXCHANGE HALL**
Acton, MA
(Middlesex County)

SITE PLAN SPECIAL PERMIT

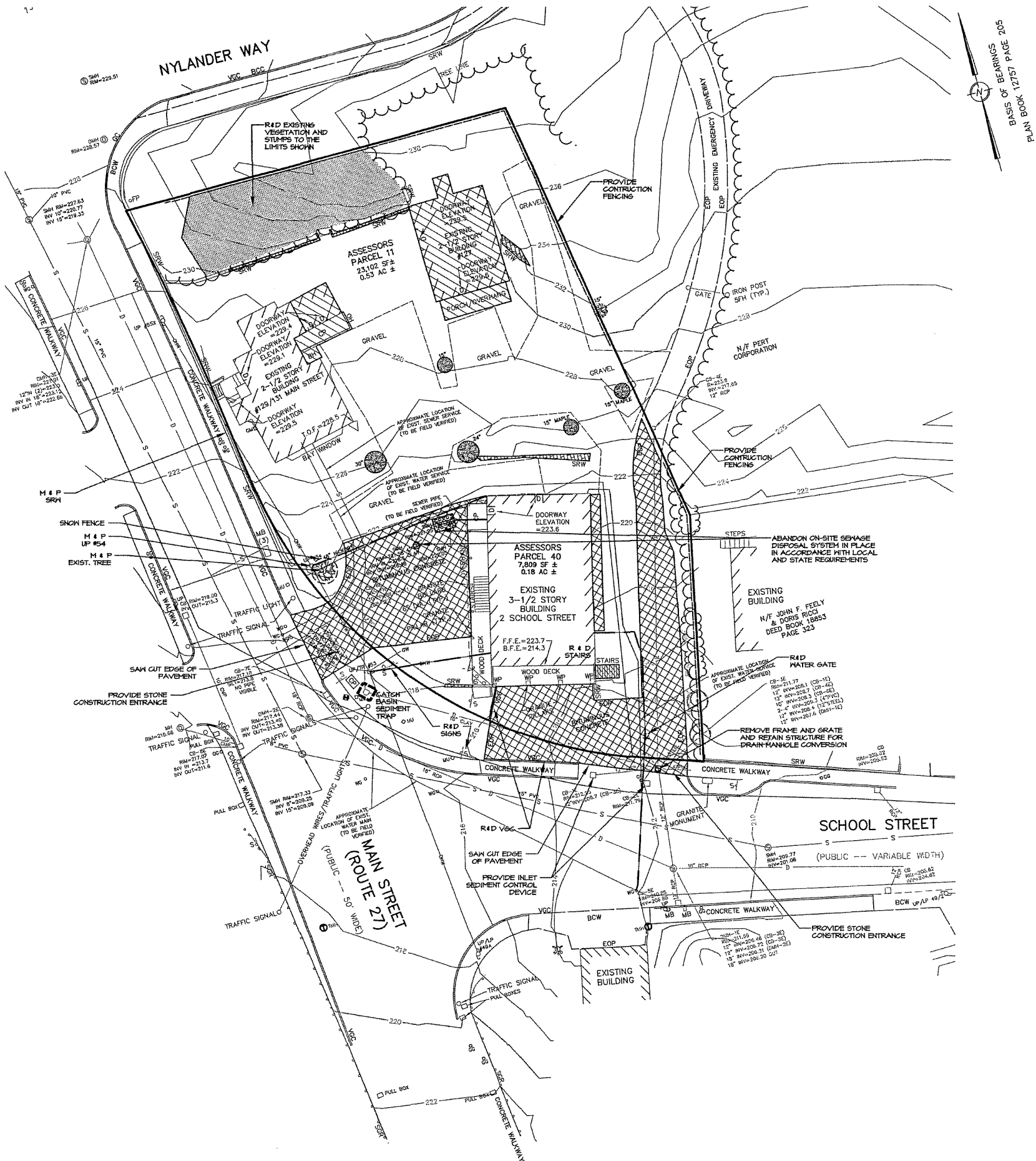
DATE:	06/22/06	SCALE:	1" = 20'
JOB NO.:	JN-197.01	DRAWN BY:	TTC
FILE NO.:	0197001	CHECK BY:	JRZ
DRAWING NO.:	0197003C	CALC BY:	PBB
		SHEET:	1

SITE PREPARATION NOTES:

- SEE SHEET 1 FOR REFERENCES AND LEGEND.
- LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND ARE APPROXIMATE AND ASSUMED. BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-800-344-1233 TO ACCURATELY LOCATE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY DEPARTMENTS / COMPANIES OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. ANY COSTS RELATED TO THE REPAIR OF UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE PERFORMED UNTIL ALL UTILITY COMPANIES HAVE BEEN NOTIFIED.
- CONTRACTOR TO CONFIRM SIZE AND DISPOSITION OF ALL UTILITIES TO SITE AND COORDINATE REMOVAL/RELOCATION OF PRIVATE UTILITIES TO/WITHIN SITE WITH RESPECTIVE UTILITY COMPANIES.
- PRIOR TO CONSTRUCTION AN EROSION CONTROL BARRIER (ECB) SHALL BE PROVIDED AT THE EDGE OF THE DEVELOPMENT AREA AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE ECB THROUGHOUT ALL PHASES OF CONSTRUCTION AS WELL AS COMPLYING WITH ANY OTHER CONDITIONS ESTABLISHED IN ALL APPLICABLE PERMITS.
- EXISTING PAVEMENT SHALL BE SAW CUT, AND NEW PAVEMENT SHALL BE BLENDED SMOOTHLY TO MEET CUT EDGES.
- ALL MATERIALS NOTED FOR REMOVAL OR DEMOLITION SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND MUST EITHER BE RECYCLED OR DISPOSED OF OFF SITE ACCORDING TO APPLICABLE REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS FOR DEMOLITION, HAULING AND DISPOSING OF SAID MATERIALS.
- BUILDING DEMOLITION INCLUDES DEMOLITION OF ANY BASEMENT OR FOUNDATION WALLS. ANY BASEMENT FLOORS SHALL BE BROKEN UP OR PERFORATED. SITE PREPARATION SHALL INCLUDE BACKFILL OF BASEMENT AREAS WITH APPROVED FILL MATERIAL TO ROUGH GRADE.
- EXISTING SURVEY MONUMENTS SUCH AS STONE OR CONCRETE BOUNDS, DRILL HOLES, IRON PIPES, ETC. SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO COMMENCING SITE PREPARATION WORK. ANY MONUMENTS THAT ARE DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AND THEIR LOCATIONS CERTIFIED BY A PROFESSIONAL LAND SURVEYOR.

DEMOLITION AND SITE PREPARATION KEY

DESCRIPTION	SYMBOL
BUILDING OR PORTION OF BUILDING TO BE DEMOLISHED OR RELOCATED	
BUILDING ACCESSORY TO BE REMOVED	
PAVEMENT OR CONCRETE PAD TO BE REMOVED	
UTILITY OR DRAIN/SEWER STRUCTURE TO BE REMOVED	
UTILITY OR DRAIN/SEWER LINE TO BE REMOVED	
STONE RETAINING WALL TO BE REMOVED	
TREE TO BE REMOVED	
TREE TO BE PRESERVED	
REMOVE AND DISPOSE	R & D
MAINTAIN AND PROTECT	M & P

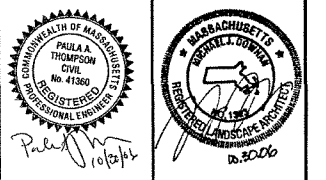


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APPLICANT:
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2 School Street
Acton, MA

TITLE:
**SITE PREPARATION PLAN
EXCHANGE HALL**
Acton, MA
(Middlesex County)

SITE PLAN SPECIAL PERMIT

DATE:	06/22/06	SCALE:	1" = 30'
JOB NO.:	0197.01	DWN. BY:	
FILE NO.:	0197200	CHK'D. BY:	
DRAWING NO.:	0197201C	SHEET:	2

THIS DRAWING IS NOT FOR CONSTRUCTION UNTIL ISSUED FOR CONSTRUCTION BY WATERMAN DESIGN ASSOCIATES, INC.

GRADING AND DRAINAGE NOTES:

- SEE SHEET 1 FOR REFERENCES AND LEGEND.
- LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND ARE APPROXIMATE AND ASSUMED. BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-800-344-7233 AND LOCAL MUNICIPAL UTILITY DEPARTMENTS TO ACCURATELY LOCATE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES / DEPARTMENTS OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. ANY COSTS RELATED TO THE REPAIR OF UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE PERFORMED UNTIL ALL UTILITY COMPANIES HAVE BEEN NOTIFIED.
- PRIOR TO CONSTRUCTION AN EROSION CONTROL BARRIER (ECB) SHALL BE PROVIDED AT THE EDGE OF THE DEVELOPMENT AREA AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE ECB THROUGHOUT ALL PHASES OF CONSTRUCTION AS WELL AS COMPLYING WITH ANY OTHER CONDITIONS ESTABLISHED IN THE APPLICABLE PERMITS.
- ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- EXISTING PAVEMENT SHALL BE SAW CUT, AND NEW PAVEMENT SHALL BE BLENDED SMOOTHLY TO MEET CUT EDGES.
- ALL UTILITY COVERS, GRATES, HATCHES, ETC., SHALL BE FLUSH WITH THE PAVEMENT FINISHED GRADE.
- FINAL GRADES SHALL BE PITCHED EVENLY BETWEEN SPOT ELEVATIONS.
- ALL GRADES IN HANDICAPPED ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 2% IN ANY DIRECTION (PER 521 CMR 23.4.3).
- ALL GRADES IN HANDICAPPED ACCESSIBLE WALKWAYS SHALL NOT EXCEED 5% (PER 521 CMR 22.3) AND SHALL NOT HAVE A CROSS PITCH OF MORE THAN 2% (PER 521 CMR 22.3.1).
- RIPRAP APRONS SHALL BE PROVIDED AT ALL FLARED ENDS AND HEADWALLS.
- RETAINING WALL(S) TO BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ENGINEERED STRUCTURAL DRAWINGS FOR RETAINING WALL(S) WHERE REQUIRED BY CODE.
- SEE SHEET 4- UTILITY PLAN FOR DRAINAGE SCHEDULE OF ELEVATIONS.
- SEE DETAIL SHEETS FOR DETENTION AND INFILTRATION SYSTEM SCHEDULE OF ELEVATIONS.

DRAINAGE RIM AND INVERT SCHEDULE

CB-01	R= 211.50	I= 208.30	12"	D-08	CPE Type 5	TO	DMH-01
CB-02	R= 226.00	I= 223.50	12"	D-01	CPE Type 5	TO	DMH-02
CB-03*	R= 224.00	I= 221.75	10"	D-03	CPE Type 5	TO	DMH-02
CB-04	R= 218.75	I= 214.75	12"	D-10	CPE Type 5	TO	DMH-03
CB-05	R= 223.90	I= 217.65	12"	D-09	RCP	TO	DMH-01
CB-06	R= 215.50	I= 211.70	10"	D-07	Clay	TO	DMH-03
DET-INLET	R= 225.25	I= 221.40	12"	D-02	CPE Type 5	FROM	DMH-02
DET-OUTLET	R= 224.30	I= 220.20	12"	D-04	CPE Type 5	FROM	DMH-03
DMH-01	R= 211.77	I= 208.30	12"	D-04	CPE Type 5	TO	DMH-03
		I= 208.70	12"	D-04	CPE Type 5	FROM	DMH-03
		I= 208.30	10"	D-05	Clay	FROM	DMH-03
		I= 208.10	12"	D-08	CPE Type 5	FROM	CB-01
DMH-02	R= 226.90	I= 208.10	12"	D-06	RCP	TO	DMH-1E
		I= 223.42	12"	D-01	CPE Type 5	FROM	CB-02
		I= 221.67	12"	D-03	CPE Type 5	FROM	CB-03
		I= 221.67	12"	D-02	CPE Type 5	TO	DET-INLET
DMH-03	R= 217.70	I= 211.06	12"	D-04	CPE Type 5	FROM	DET-OUTLET
		I= 213.70	12"	D-10	CPE Type 5	FROM	CB-04
		I= 211.23	10"	D-07	Clay	FROM	CB-06
		I= 211.23	10"	D-05	Clay	TO	DMH-01
DMH-1E	R= 211.55	I= 206.46	12"	D-06	RCP	FROM	DMH-01

* CB-03 SHALL BE A LOW PROFILE FRAME AND GRATE

SCREENED = EXISTING SOLID = PROPOSED

OPERATION AND MAINTENANCE PROGRAM:

SWEEEPING OF PAVED SURFACES:

- ALL PAVED SURFACES ON-SITE INCLUDING DRIVEWAYS, WALKWAYS AND PARKING AREAS SHALL BE SWEPT AT LEAST ONCE ANNUALLY TO REMOVE ACCUMULATIONS OF SAND, SILT, LEAVES, AND OTHER DEBRIS.
- SWEEEPINGS SHOULD OCCUR IN MARCH/APRIL AFTER SNOWMELT HAS OCCURRED AND THAN HAS BEGUN. SWEEEPINGS SHALL BE DISPOSED OF AT AN APPROPRIATE LOCATION AWAY FROM STORMWATER MANAGEMENT FACILITIES.

DEEP SUMP CATCH BASINS:

- CATCH BASINS SHALL BE INSPECTED AND CLEANED A MINIMUM OF ONCE PER YEAR.
- ALL SEDIMENTS AND HYDROCARBONS SHALL BE PROPERLY HANDLED AND DISPOSED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL GUIDELINES AND REGULATIONS.

UNDERGROUND DETENTION FACILITIES:

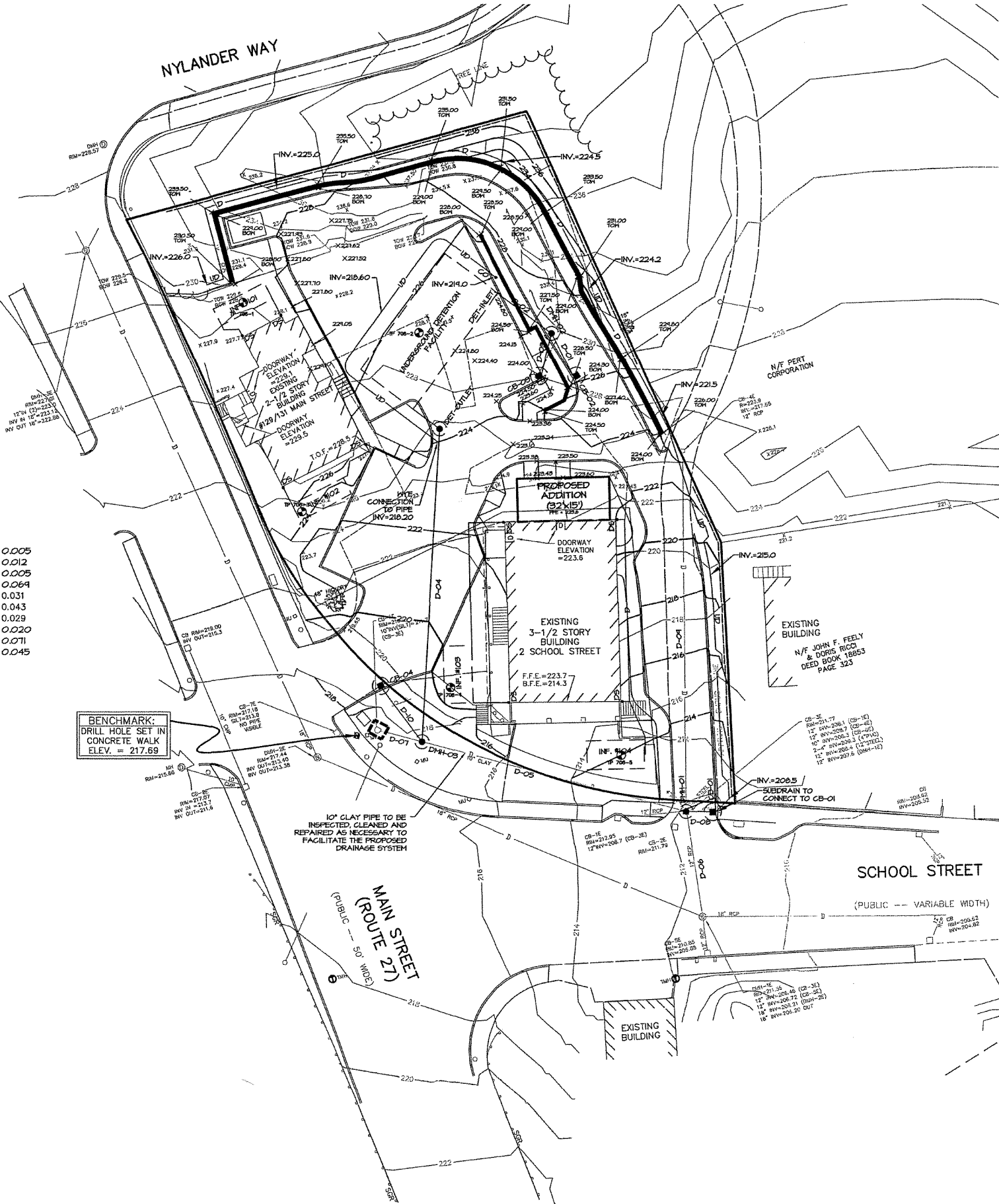
- PRETREATMENT DEVICES (DEEP SUMP HOODED CATCH BASINS) ARE ESSENTIAL TO THE FUNCTIONALITY OF THE UNDERGROUND DETENTION FACILITIES. THE ABOVE MAINTENANCE PLAN SHALL BE FOLLOWED FOR THESE DEVICES.
- DRAIN MANHOLES AT THE OUTLET END OF UNDERGROUND DETENTION FACILITIES SHALL BE INSPECTED AT LEAST TWICE PER YEAR AND AFTER THE FIRST SEVERAL RAINFALL EVENTS AND AFTER ALL MAJOR STORMS. OUTLETS SHALL BE CHECKED FOR EVIDENCE OF CLOGGING OR FLOW RESTRICTIONS AND CLEARED AS NECESSARY. ANY DEBRIS OR ACCUMULATED SEDIMENTS WHICH COULD HINDER FLOWS SHALL BE REMOVED AND DISPOSED.

UNDERGROUND INFILTRATION FACILITIES:

- INSPECTION PORTS ARE PROVIDED AT THE ENDS OF EACH PIPE IN THE SYSTEM TO ALLOW FOR OBSERVATION AND CLEANING OF UNDERGROUND FACILITIES.
- FACILITIES SHALL BE INSPECTED AT LEAST TWICE PER YEAR AND AFTER THE FIRST SEVERAL RAINFALL EVENTS AND AFTER ALL MAJOR STORMS. PONDED WATER INSIDE THE INFILTRATION FACILITIES AFTER SEVERAL DAYS OFTEN INDICATES THAT THE BOTTOM OF THE TRENCH IS CLOGGED AND ALL STONE AGGREGATE AND FILTER FABRIC MUST BE REMOVED AND REPLACED.
- SYSTEMS UNDER PERVIOUS AREAS SHALL REMAIN CLEAR OF GRASS CLIPPINGS, LEAVES, AND SEDIMENT. IF PONDING IS OBSERVED AT THE SURFACE, CORRECTIVE MAINTENANCE SHALL INCLUDE REMOVAL AND REPLACEMENT OF TOPSOIL AND FIRST LAYER OF STONE AGGREGATE AND FILTER FABRIC.
- DOWNHILL SLOPES FROM INFILTRATION AREAS SHALL BE MONITORED WEEKLY DURING CONSTRUCTION AND MONTHLY THEREAFTER FOR THE FIRST YEAR OF OPERATION FOR SIGNS OF BREAKOUT. SEEPAGE FROM DOWNHILL SLOPES SHALL BE AN INDICATION OF A SYSTEM FAILURE AND CORRECTIVE ACTION SHALL BE TAKEN.
- CORRECTIVE ACTION FOR SYSTEM FAILURE SHALL INCLUDE REMOVAL AND REPLACEMENT OF ALL STONE AGGREGATE AND FILTER FABRIC. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE TRENCH BOTTOM AND THE BOTTOM SHALL BE SCARIFIED OR TILLED TO HELP INDUCE INFILTRATION.

DRAINAGE PIPE SCHEDULE

D-01	12"	CPE Type 5	L= 17'	S= 0.005
D-02	12"	CPE Type 5	L= 23'	S= 0.012
D-03	12"	CPE Type 5	L= 16'	S= 0.005
D-04	12"	CPE Type 5	L= 116'	S= 0.064
D-05	10"	Clay	L= 95'	S= 0.031
D-06	12"	RCP	L= 37'	S= 0.043
D-07	10"	Clay	L= 16'	S= 0.029
D-08	12"	CPE Type 5	L= 10'	S= 0.020
D-09	12"	CPE Type 5	L= 126'	S= 0.071
D-10	12"	CPE Type 5	L= 23'	S= 0.045



SITE PLAN SPECIAL PERMIT
APPROVED
ACTON
BOARD OF SELECTMEN

A MAJORITY OF THE BOARD
DATE: _____

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02/06, WATERMAN DESIGN ASSOCIATES, INC.

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B	08/24/06	INITIAL ISSUE	
A		B.O.S. DISCUSSION (PROGRESS)	



PREPARED BY:



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OWNER:

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BLUEBIRD REALTY
TRUST**

2 School Street
Acton, MA

APPLICANT:

**BLUEBIRD REALTY
TRUST**

2 School Street
Acton, MA

TITLE:

**GRADING AND
DRAINAGE PLAN**

EXCHANGE HALL

Acton, MA
(Middlesex County)

SITE PLAN SPECIAL PERMIT

DATE:	06/22/06	SCALE:	1" = 20'
JOB NO.:	0197.01	DWN. BY:	
FILE NO.:	0197200	CHK'D BY:	
DRAWING NO.:	0197202C	SHEET:	

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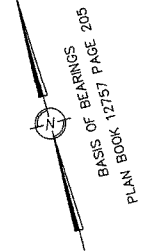
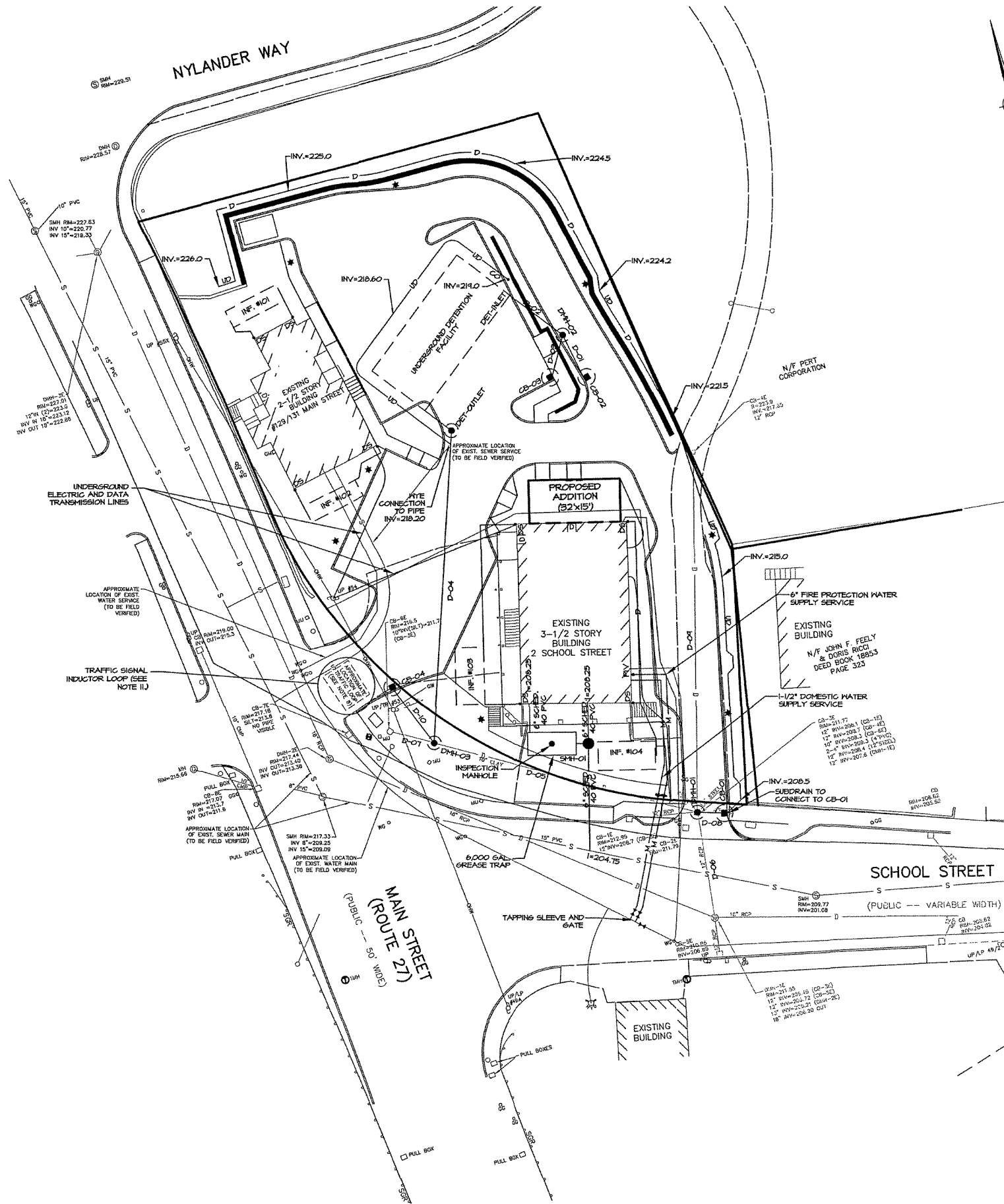
UTILITY NOTES:

- SEE SHEET 1 FOR REFERENCES AND LEGEND.
- LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND ARE APPROXIMATE AND ASSUMED. BEFORE COMMENCING SITE WORK, CONTRACTOR SHALL CALL "DIG SAFE" AT 1-888-344-7233 AND LOCAL MUNICIPAL UTILITY DEPARTMENTS TO ACCURATELY LOCATE UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY APPROPRIATE UTILITY COMPANIES / DEPARTMENTS OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. ANY COSTS RELATED TO THE REPAIR OF UTILITIES DAMAGED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE THE CONTRACTOR'S RESPONSIBILITY. NO EXCAVATION SHALL BE PERFORMED UNTIL ALL UTILITY COMPANIES HAVE BEEN NOTIFIED.
- CONTRACTOR SHALL CONFIRM DEPTHS OF PERTINENT UTILITIES BY TEST PIT AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- ALL DRAIN PIPE SHALL BE CLASS III RCP (ASTM C76) OR ADS N-12 (OR EQUAL), UNLESS OTHERWISE NOTED.
- ALL GRAVITY SEWER PIPE SHALL BE SDR 35 PVC (ASTM D3034) WITH WATERTIGHT INTEGRAL BELL GASKETED JOINT (ASTM D3212) AND ELASTOMERIC GASKET (ASTM F471), UNLESS OTHERWISE NOTED.
- SEE DETAIL SHEET FOR INFILTRATION SYSTEM SCHEDULE OF ELEVATIONS.
- ALL WATER MAIN PIPE AND FITTINGS MATERIAL SHALL BE APPROVED BY DPH UNLESS OTHERWISE NOTED. ALL WATER SERVICES TO BE PRESSURE RATED COPPER AS REQUIRED/APPROVED BY DPH.
- WHERE 10' HORIZONTAL SEPARATION BETWEEN SEWER AND WATER MAINS CANNOT BE MAINTAINED, CROWN OF SEWER MAIN SHALL BE 18" BELOW BOTTOM OF WATER MAIN, IN ACCORDANCE WITH SECTION 4.7.2 OF MASS. DEP "GUIDELINES AND POLICIES FOR PUBLIC WATER SYSTEMS" (AS DEFINED IN 310 CMR 22.02).
- PROPOSED ELECTRIC, TELEPHONE AND CABLE DEPICTED IS SCHEMATIC ONLY. CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANY FOR FINAL PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE CONNECTION TO MUNICIPAL FIRE ALARM.
- CONTRACTOR TO COORDINATE WITH QUALIFIED PERSONNEL (IE. PROFESSIONAL TRAFFIC ENGINEER & TRAFFIC SIGNAL MAINTENANCE CREW) FOR THE CONSTRUCTION SEQUENCE RELATED TO THE REMOVAL AND RE-INSTALLATION OF THE TRAFFIC SIGNAL INDUCTOR LOOP AT THE SITE ACCESS DRIVEWAY AND MAIN STREET INTERSECTION.

SEWER SCHEDULE OF ELEVATIONS

SMH-01
RIM=214.05
INV. (IN)=207.10/EXCHANGE HALL
INV. (IN)=207.10/GREASE TRAP
INV. (OUT)=207.60/SCHOOL STREET SEWER MAIN

GREASE TRAP
RIM=214.10
INV. (IN)=208.05/EXCHANGE HALL
INV. (OUT)=207.80/SMH-01

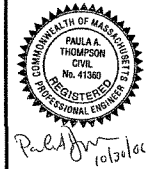


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APPROVED
ACTION
BOARD OF SELECTMEN

A MAJORITY OF THE BOARD
DATE:

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Acton, MA

APPLICANT:

BLUEBIRD REALTY TRUST
2 School Street
Acton, MA

TITLE:

UTILITY PLAN
EXCHANGE HALL
Acton, MA
(Middlesex County)

SITE PLAN SPECIAL PERMIT



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LAYOUT & MATERIAL NOTES:

- SEE SHEET 1 FOR EXISTING CONDITIONS INFORMATION AND NOTES.
- ALL SETBACK LINES AND DIMENSIONS ARE PARALLEL TO OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
- DIMENSIONS OF PARKING SPACES AND WALKWAYS ARE MEASURED FROM FACE OF CURB.
- EACH HANDICAP PARKING SPACE SHALL BE IDENTIFIED BY A SIGN LOCATED AT THE BACK OF CURB. THE SIGN SHALL CONTAIN THE "INTERNATIONAL SYMBOL OF ACCESSIBILITY" AS DESCRIBED IN THE AMERICANS WITH DISABILITIES ACT, PUBLIC LAW 101-366, AND DETAILED IN THE FHWA/USDOT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS AMENDED.
- ORNAMENTAL FENCE SUBJECT TO APPROVAL BY THE ACTON HISTORICAL DISTRICT COMMISSION.
- STEPS FROM GATHERING AREA TO CAFE AREA TO BE "REDI-ROCK" TREADS OR A MATERIAL TO BE DETERMINED BY THE ACTON HISTORICAL DISTRICT COMMISSION AND APPLICANT.
- RETAINING WALL MATERIAL TO BE "REDI-ROCK" SEGMENTAL RETAINING WALL SYSTEM, SUBJECT TO THE APPROVAL OF THE ACTON HISTORICAL DISTRICT COMMISSION.
- VEHICULAR TRAFFIC FLOW ARROWS AS SHOWN HEREON SHALL BE PAINTED ON THE PAVEMENT.
- VEHICLES ARE PROHIBITED FROM OBSTRUCTING ACCESS TO THE EMERGENCY VEHICLE ACCESS TO NYLANDER WAY.

ZONING SUMMARY TABLE

DISTRICT: SOUTH ACTON VILLAGE (SAV) GROUNDWATER PROTECTION DISTRICT: ZONE 4		
LOT AREA	REQUIRED	PROVIDED
	NR	23,102 S.F. +/- (PARCEL 40)
	NR	7,804 S.F. +/- (PARCEL II)
	NR	30,911 S.F. +/- (COMBINED)
FRONTAGE	NR	314' +/-
FRONT YARD (MAX)	10'	N/A
SIDE YARD	10'	26' +/-
REAR YARD	10'	N/A
BUILDING HEIGHT (MAX)	36'	SEE ARCHITECTURAL DRAWINGS
FLOOR AREA RATIO (MAX)	0.2 (6182 S.F. +/-)	0.02 (480 S.F. +/-) *
OPEN SPACE	NR	N/A
PARKING LOT LANDSCAPING	5%	62% +/-
* - THE SITE IS A PRE-EXISTING USE. A 32'x15' ADDITION IS PROPOSED FOR THE PURPOSES OF THE ELEVATOR AND STAIRWELL.		

PARKING SUMMARY TABLE

USE	REQUIRED (ZBL SECTION 6.3)	REQUIRED (SAV, 10%)	PROVIDED
RESTAURANT	3 SEATS PER SPACE (179 SEATS)=56 SPACES	41 SPACES	
OFFICE	ONE SPACE PER 250 SQ. FT.(1,250 SQ. FT.)=5 SPACES	4 SPACES	
RESIDENTIAL	TWO SPACES PER RESIDENCE (1 RESIDENCE)=2 SPACES	2 SPACES	
AUDITORIUM	4 OCCUPANTS PER SPACE (225 OCCUPANTS)=56 SPACES	40 SPACES	
	TOTAL	87 SPACES	
		ON-SITE = 23 SPACES (PRIOR TO 5:00 PM WEEKDAYS)	
		19 SPACES (AFTER 5:00 PM WEEKDAYS)	
		SCHOOL STREET LOT = 25 SPACES	
		COMMUTER RAIL LOT = 100 SPACES*	
		TOTAL = 148 SPACES (PRIOR TO 5:00 PM WEEKDAYS)	
		144 SPACES (AFTER 5:00 PM WEEKDAYS)	
* - WEEKDAYS AFTER 6:30 PM AND ALL DAY SATURDAY AND SUNDAY, 100 PARKING SPACES ARE AVAILABLE AT THE COMMUTER RAIL LOT.			

KEY

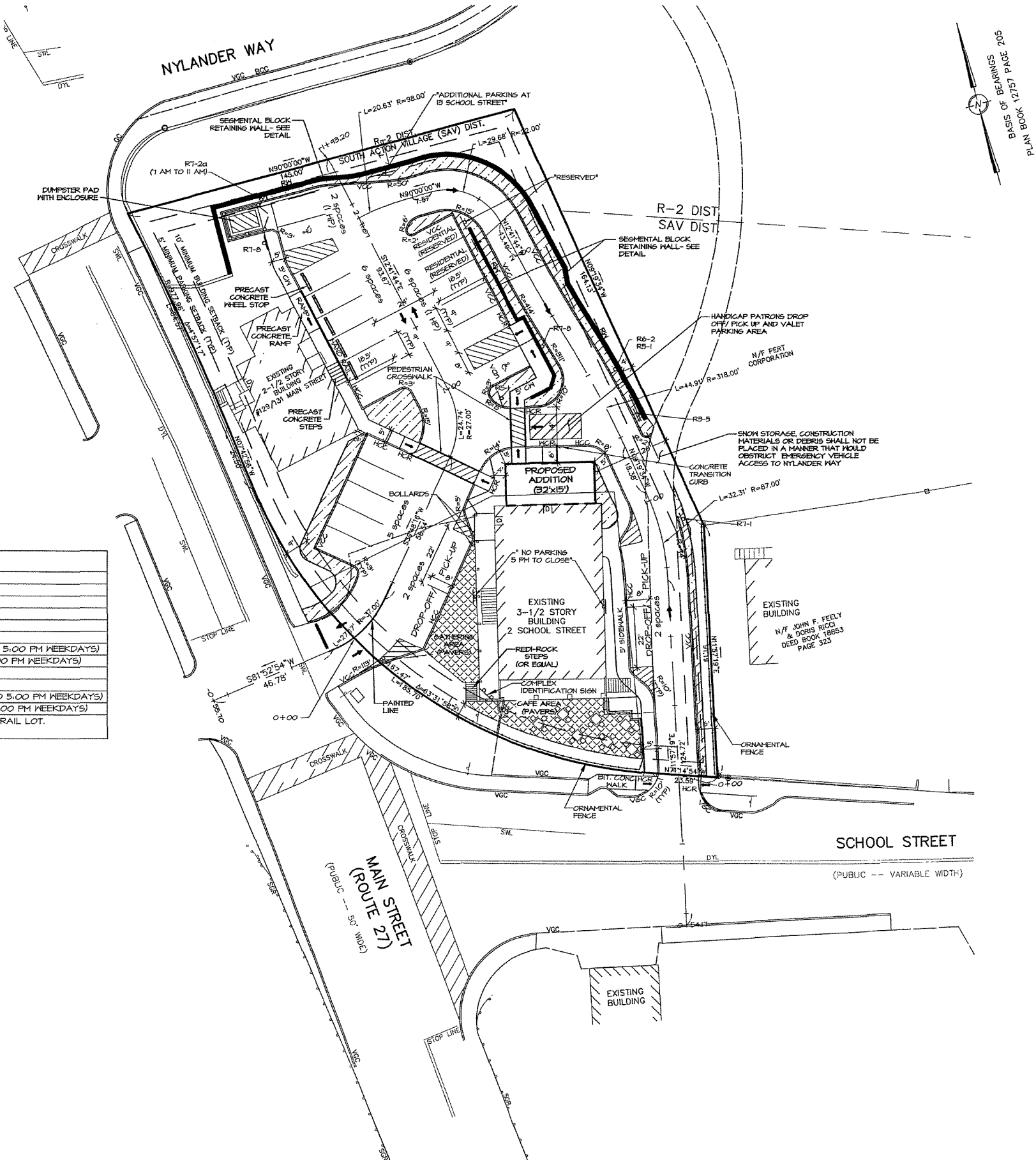
SNOW STORAGE AREAS

SIGN SUMMARY TABLE

ALL SIGNS SHALL CONFORM TO STANDARDS SET FORTH IN "STANDARD HIGHWAY SIGNS", 1979 (LATEST (REVISION), BY THE US DOT / FHWA, UNLESS OTHERWISE NOTED.

SIGN CODE	SIGN SIZE	LEGEND / (SYMBOL)
R1-1	MIN.	STOP
R3-5	MIN.	LEFT TURN ONLY
R5-1	MIN.	DO NOT ENTER
R6-2	MIN.	ONE WAY
R7-1 **	12 x 18	NO PARKING ANYTIME
R7-2a *	12 x 18	NO PARKING 8:00 AM TO 4:00 PM (UNLESS OTHERWISE NOTED)
R7-2b *	12 x 6	TOW AWAY ZONE
R7-8	12 x 18	RESERVED PARKING (HANDICAPPED) (NO ARROW)

- * MOUNT R7-201 BELOW R7-2a ON SIGN POST WITH PANELS FACING SAME DIRECTION.
- ** MOUNT R7-201 BELOW R7-1 ON SIGN POST WITH PANELS FACING SAME DIRECTION.

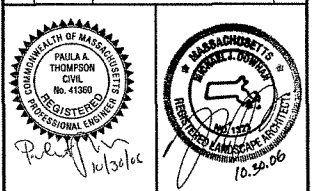


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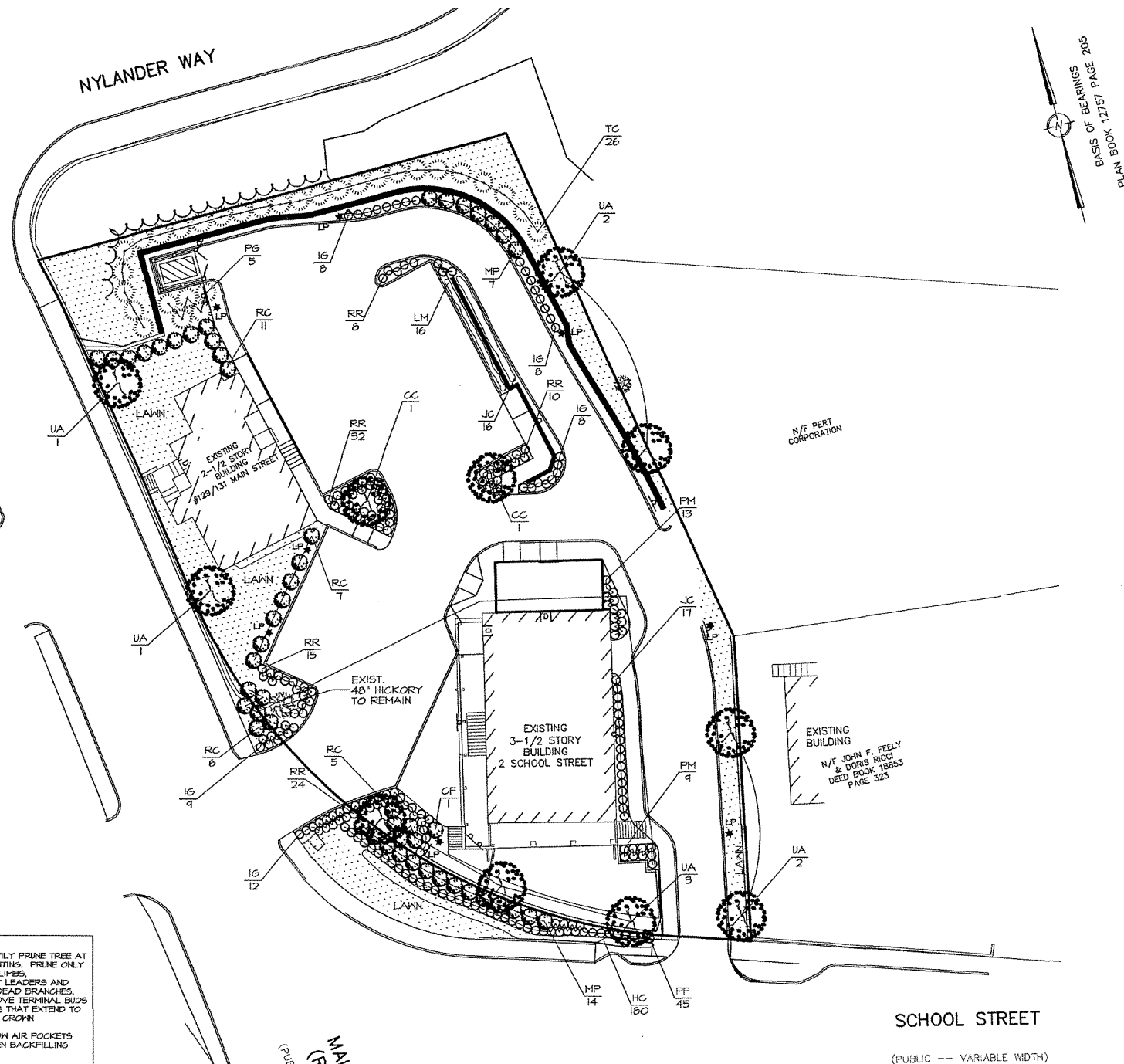
LAYOUT &
MATERIALS PLAN
EXCHANGE HALL
Acton, MA
(Middlesex County)

SITE PLAN SPECIAL PERMIT

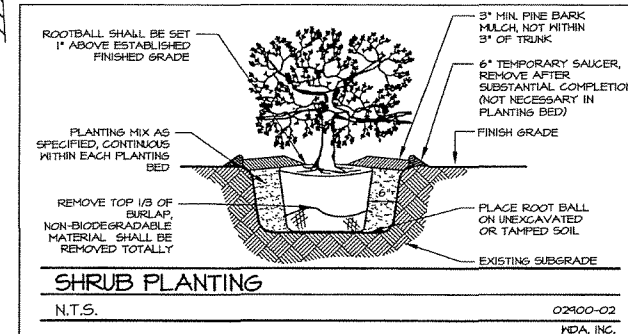
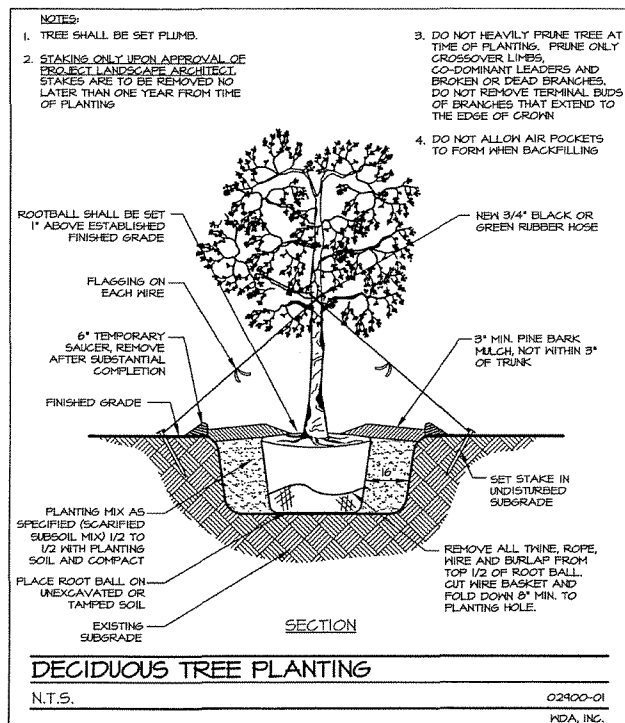
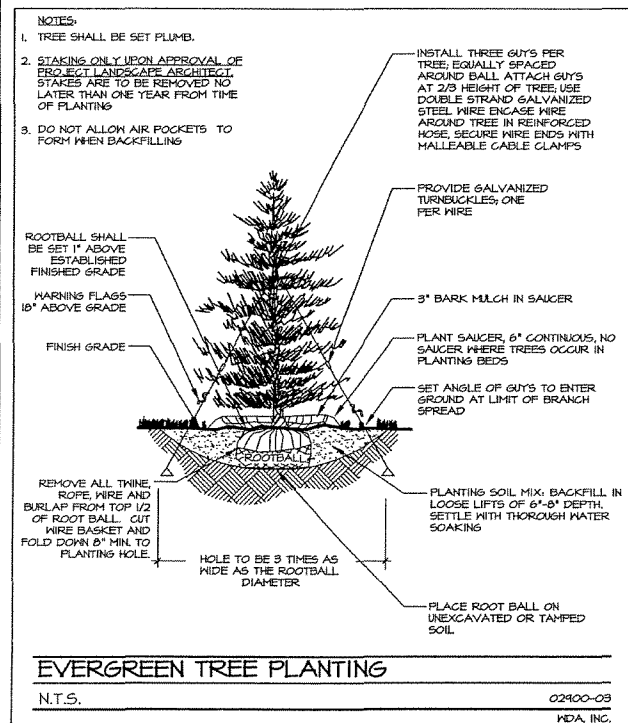
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FILE NO.:	0197200	CHK'D. BY:	
DRAWING NO.:	0197204C	SHEET:	5

1. SEE SHEET I FOR GENERAL NOTES, REFERENCES AND LEGEND.
2. ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES AS OUTLINED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
3. ANY PROPOSED SUBSTITUTION OF PLANT MATERIAL SHALL BE EQUAL IN OVERALL HEIGHT, LEAF, FORM, BRANCHING HABIT, FRUIT, FLOWER, COLOR, AND CULTURE, AND SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT.
4. LAWN AREAS ARE TO BE LOAMED AND SEEDED UNLESS OTHERWISE NOTED.
5. ALL LANDSCAPE ISLANDS WITHIN PARKING AREAS ARE TO BE BARK MULCHED TO A MINIMUM DEPTH OF 3" UNLESS OTHERWISE NOTED.
6. ALL PLANTING BEDS ARE TO BE GROINED WITH TOPSOIL ABOVE ADJACENT AREAS.
7. PROVIDE A PLANTING BED WITH A MINIMUM DIAMETER OF 5' AROUND ALL TREES NOT LOCATED WITHIN A PLANTING BED. PROVIDE A CONTINUOUS MULCH BED AROUND ALL SHRUB PLANTINGS AS INDICATED ON THE PLANS.
8. PROVIDE A MINIMUM 3' GRASS STRIP ALONG ALL CURB LINES AS INDICATED ON THE PLANS.
9. ALL TREE PLANTINGS TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION FROM PROPOSED AND EXISTING SEWER AND WATER LINES.
10. ALL LIGHT FIXTURES TO BE LOCATED AS SHOWN ON PLAN AND AS PER SPECIFICATIONS OF THE MANUFACTURER. REFER TO PHOTOMETRIC PLAN PROVIDED BY COOPER LIGHTING (1121 HIGHWAY 74 SOUTH, PEACHTREE CITY, GA 30264).

Plant List						
Key	Botanical Name	Common Name	Size	Root	Qty.	Notes
Evergreen Trees						
PG	Picea glauca	White Spruce	6' - 7' ht.	B&B	5	Matched
TC	Tsuga canadensis	Eastern Hemlock	6' - 7' ht.	B&B	26	Matched
Ornamental /Shade Trees						
CG	Cercis canadensis	Eastern Redbud	8' - 10' ht.	B&B	2	Matched
UA	Ulmus americana 'Princeton'	Princeton American Elm	3" - 3 1/2" cal	B&B	4	Matched
Evergreen & Deciduous Shrubs						
GF	Calycanthus floridus	Sweetshrub	24" - 30" ht.	CONT.	1	
IG	Ilex glabra 'Compacta'	Compact Inkberry	24" - 30" ht.	CONT.	45	Space 24" o.c.
MP	Myrica pensylvanica	Bayberry	24" - 30" ht.	CONT.	21	Space 24" o.c.
PF	Fritillaria fruticulosa 'Primrose Beauty'	Primrose Beauty Potentilla	24" - 30" ht.	CONT.	45	Space 18" o.c.
PC	Funaria maritima	Beach Plum	24" - 30" ht.	CONT.	22	Space 24" o.c.
RC	Rhododendron caroliniana	Carolina Rhododendron	24" - 30" ht.	CONT.	24	Space 30" o.c.
RR	Rosa rugosa	Rugosa Rose	16" - 24" ht.	CONT.	84	Space 24" o.c.
Groundcovers						
HC	Hypericum calycinum	Aaronsbeard St. Johnswort	15" - 18" sp.	# 2 pot	34	Space 15" o.c.
JM	Juniperus chinensis 'Plumosa compacta'	Compact Andorra Juniper	15" - 18" sp.	# 2 pot	34	Space 18" o.c.
LC	Liriope muscari	Lilyturf	12" - 18" ht.	# 1 pot	26	Space 12" o.c.



SCHOOL STREET
(PUBLIC -- VARIABLE WIDTH)



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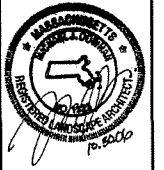
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ACTON
BOARD OF SELECTMEN

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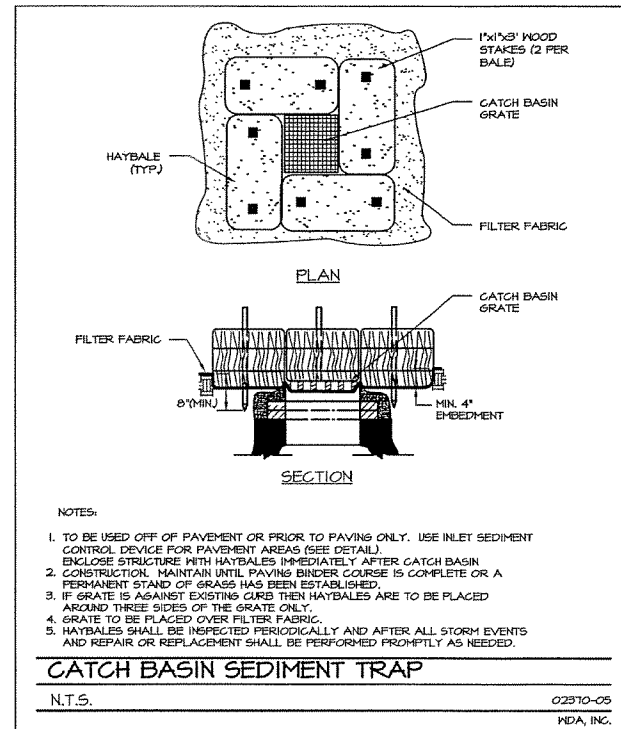
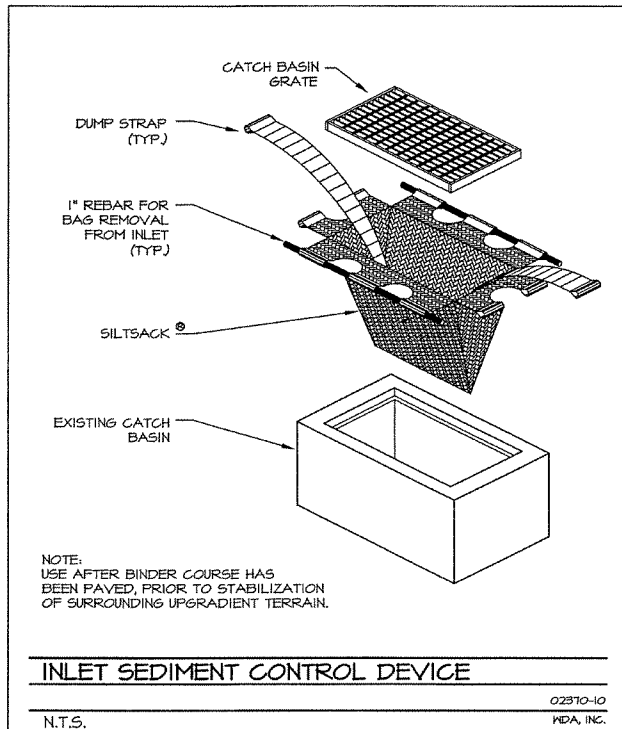
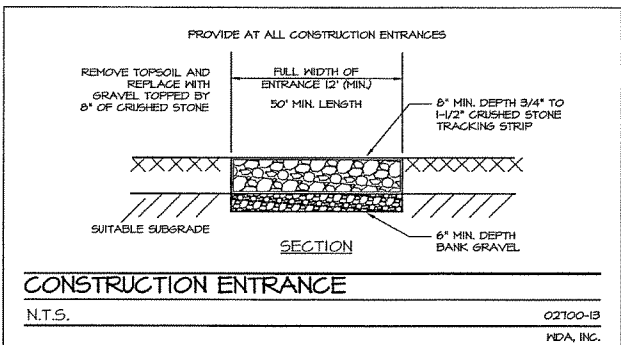
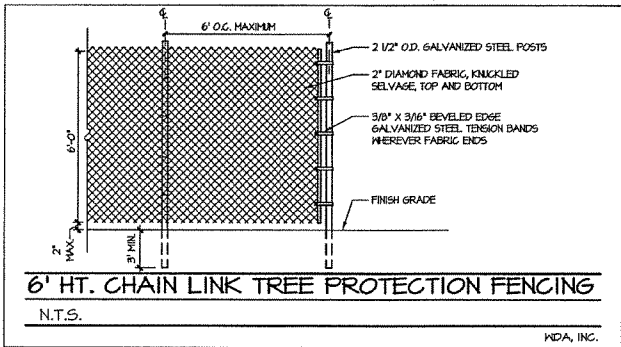
TITLE:

PLANTING AND
LIGHTING PLAN
EXCHANGE HALL
Acton, MA
(Middlesex County)

SITE PLAN SPECIAL PERMIT

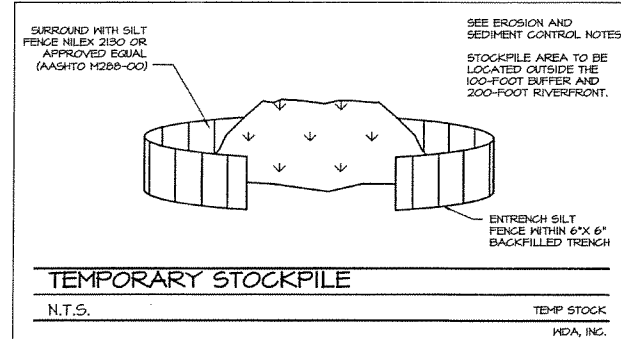
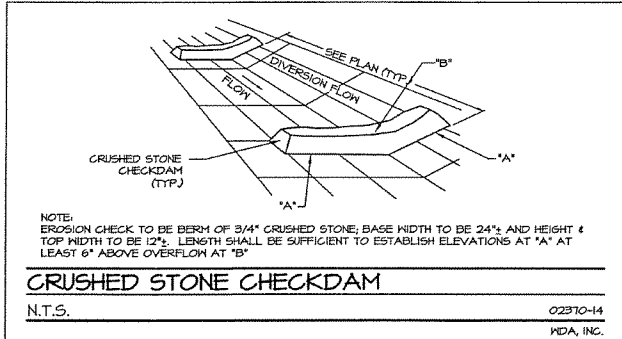
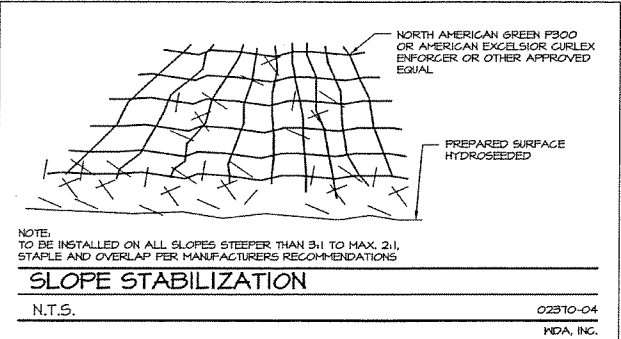
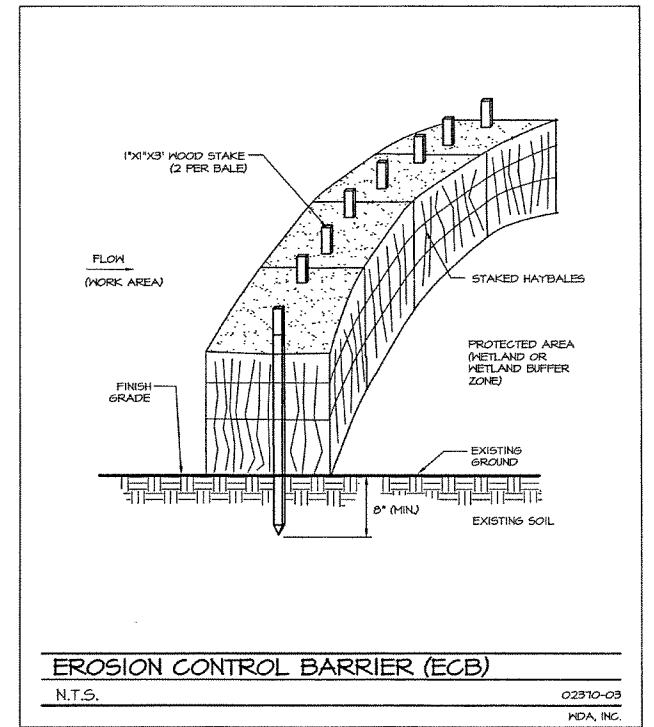
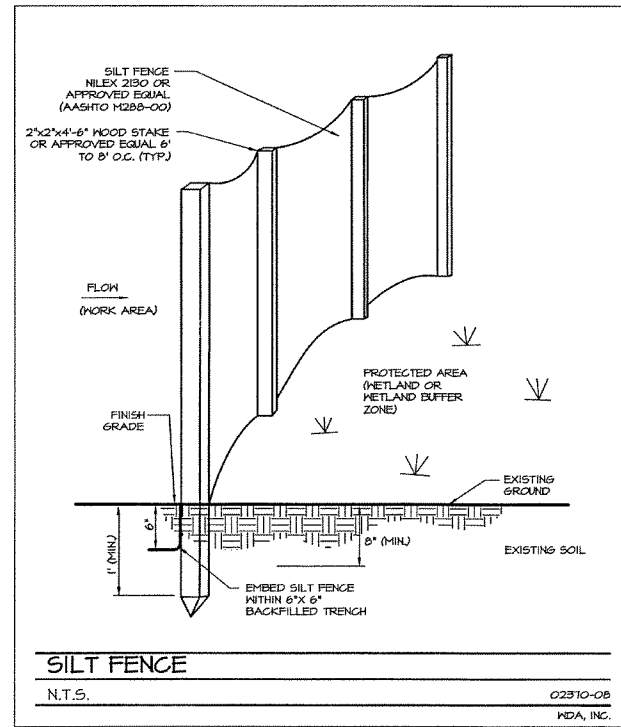
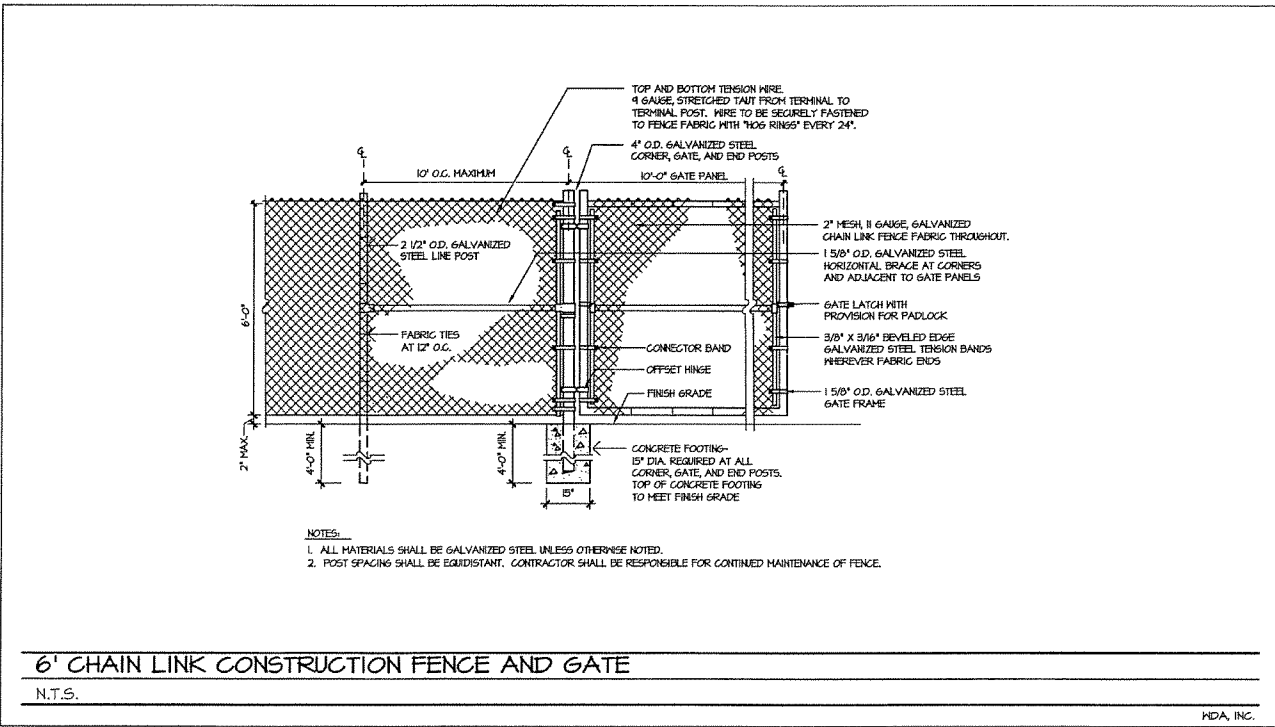


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EROSION AND SEDIMENTATION CONTROL NOTES:

1. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY AND MAINTAINED UNTIL ALL DISTURBED LAND SURFACES ARE STABILIZED.
2. A CONSTRUCTION ENTRANCE (ANTI-TRACKING PAD) SHALL BE USED TO MINIMIZE OFF-SITE MOVEMENT OF SOIL BY VEHICLES. ALL CONSTRUCTION ACCESS POINTS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOW OF SEDIMENT ONTO MAIN OR SCHOOL STREET.
3. UPON DISCOVERY, THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY SOIL OR DEBRIS WHICH ERODES FROM THE SITE ONTO ADJOINING PRIVATE PROPERTY, TOWN ROAD OR INTO THE EXISTING DRAINAGE SYSTEM.
4. STREET SWEEPINGS SHALL BE CONDUCTED BIWEEKLY (AT A MINIMUM) DURING CONSTRUCTION UNTIL SURFACES ARE STABILIZED.
5. HAYBALES BACKED BY SILTATION FENCING SHALL BE PROVIDED AT THE LIMITS OF WORK PRIOR TO COMMENCEMENT OF CONSTRUCTION TO PREVENT SILTATION OF RESOURCE AREAS OR DOWNSTREAM PROPERTIES.
6. HAYBALE CHECK DAMS SHALL BE INSTALLED AROUND EXISTING AND NEWLY CONSTRUCTED, UNCOVERED CATCHBASINS, AS WELL AS WITHIN TEMPORARY DIVERSION SHALES.
7. STORMWATER FACILITIES SHALL BE CONSTRUCTED PRIOR TO EXTENSIVE DISTURBANCE OF THE SITE TO CONTROL SILTATION DURING CONSTRUCTION.
8. TEMPORARY SHALES WITH HAYBALE CHECK DAMS SHALL BE CONSTRUCTED IF NECESSARY DURING CONSTRUCTION TO DIRECT RUNOFF TO TEMPORARY SEDIMENTATION BASINS.
9. AN ADEQUATE SUPPLY OF HAYBALES, SILT FENCE AND CRUSHED STONE SHALL BE KEPT ON SITE DURING CONSTRUCTION FOR ROUTINE OR EMERGENCY REPAIRS TO EROSION/SEDIMENTATION CONTROL BARRIERS. THIS SUPPLY SHALL BE STORED IN AN AREA PROTECTED FROM THE ELEMENTS.
10. SEDIMENT SHALL BE RETAINED ON-SITE WITHIN THE LIMITS OF THE EROSION CONTROL BARRIERS AND REMOVED REGULARLY.
11. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION OF DISTURBED AREAS HAS BEEN ACCOMPLISHED.
12. EROSION CONTROLS SHALL BE INSPECTED AFTER EACH RAINFALL EVENT GREATER THAN 1/2 INCH AND ONCE PER MONTH DURING CONSTRUCTION AND CONTINUE UNTIL FINAL SITE STABILIZATION.
13. DUST SHALL BE MANAGED BY WATERING AND/OR DUST PALLIATIVE, AS APPROPRIATE.
14. DISTURBED AREAS SHALL BE MINIMIZED AND SHALL BE STABILIZED WITHIN 14 DAYS OF THE LAST DISTURBANCE UNLESS CONSTRUCTION ACTIVITIES WILL RESUME ON THAT PORTION OF THE SITE WITHIN 10 DAYS.
15. TEMPORARY STABILIZATION SHALL BE ACCOMPLISHED UTILIZING TEMPORARY SEEDINGS OR SPRAYED ON TACKIFIER DURING GROWING SEASON AND CHOPPED HAY AND/OR TACKIFIER DURING NON-GROWING SEASON.
16. PERMANENT STABILIZATION OF DISTURBED AREAS SHALL BE ACCOMPLISHED BY BUILDING, PAVING, SEEDING, MULCHING, AND/OR LANDSCAPING. SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED BY THE USE OF EROSION CONTROL BLANKETS OVER A SURFACE PREPARED BY HYDROSEEDING.



MUTCD REFERS TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, 1982 EDITION (AS AMENDED) AND/OR STANDARD HIGHWAY SIGNS, 1983 (AS AMENDED), BOTH ISSUED BY THE USDOT/FHWA.

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DPW REFERS TO LOCAL DEPARTMENT OF PUBLIC WORKS.

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B	08/24/06	INITIAL ISSUE	
A		D.O.S. DISCUSSION (PROGRESS)	

PAULA A. THOMPSON
CIVIL ENGINEER
No. 41369
PROFESSIONAL ENGINEER

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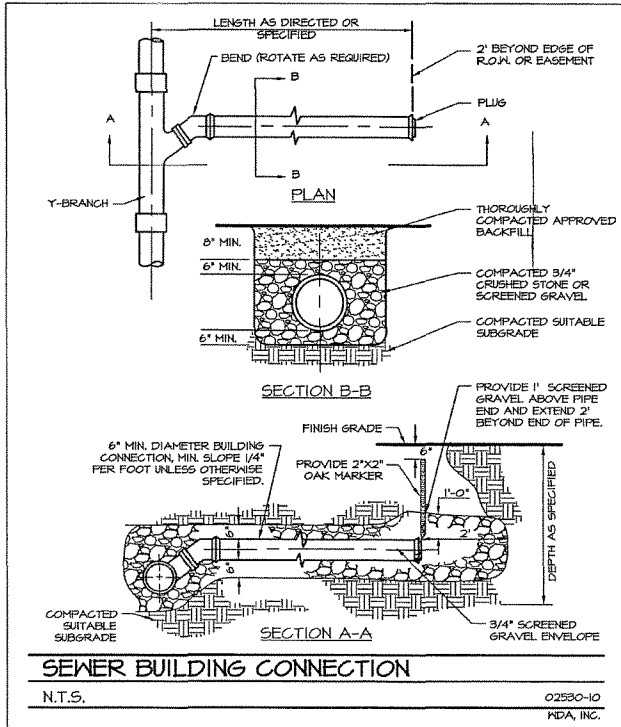
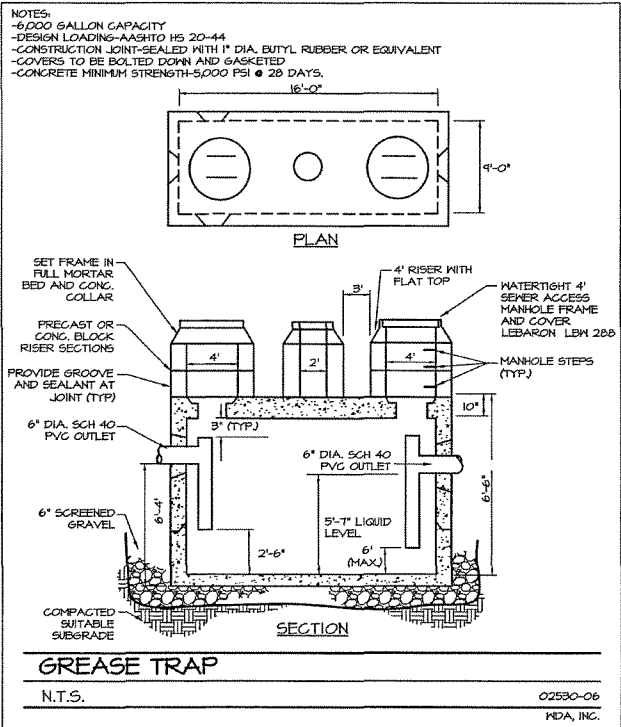
OWNER:
MAIN STREET ACTON CORPORATION & BLUEBIRD REALTY TRUST
2 School Street
Acton, MA

APPLICANT:
BLUEBIRD REALTY TRUST
2 School Street
Acton, MA

TITLE:
EXCHANGE HALL
Acton, MA
(Middlesex County)

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DRAWING NO.:	0197601C	SHEET:	7



SEWER NOTES AND SPECIFICATIONS:

BUILDING SEWER AND TRENCH SPECIFICATIONS
 THE SIZE, SLOPE, ALIGNMENT AND MATERIALS OF CONSTRUCTION OF A BUILDING SEWER, AND THE METHODS TO BE USED IN EXCAVATING, PLACING OF THE PIPE, JOINING, TESTING AND BACKFILLING THE TRENCH, SHALL ALL CONFORM TO THE REQUIREMENTS OF THE STATE AND ACTON BUILDING AND PLUMBING CODE OR OTHER APPLICABLE RULES AND REGULATIONS OF ACTON. IN ABSENCE OF CODE PROVISIONS OR IN APPLICATION THEREOF, THE MATERIALS AND PROCEDURES SHALL BE SET FORTH IN APPROPRIATE SPECIFICATIONS OF ASTM. ALL EXCAVATIONS REQUIRED FOR THE INSTALLATION OF A BUILDING SEWER SHALL BE OPEN TRENCH WORK UNLESS OTHERWISE APPROVED BY THE DPH DIRECTOR. PIPE LAYING AND BACKFILL SHALL BE PERFORMED IN ACCORDANCE WITH TOWN OF ACTON TYPICAL STREET OPENING PAVEMENT REPAIR AND ASTM SPECIFICATION G12-64, EXCEPT THAT NO BACKFILL SHALL BE PLACED UNTIL THE WORK HAS BEEN INSPECTED. ADDITIONAL SPECIFICATIONS SHALL INCLUDE THE COMMONWEALTH OF MASSACHUSETTS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS FOR HIGHWAYS, BRIDGES, AND WATERWAYS.

PIPING
 THE BUILDING SEWER SHALL BE SDR 35 POLYVINYL CHLORIDE (PVC) PIPE, SCHEDULE 40 PVC PIPE OR APPROVED EQUAL. JOINTS SHALL BE WATER-TIGHT. CEMENT MORTAR JOINTS ARE NOT BE PERMITTED. ANY PART OF THE BUILDING SEWER THAT IS LOCATED WITHIN FIVE (5) FEET OF A WATER SERVICE PIPE SHALL BE CONSTRUCTED OF CAST IRON SOIL PIPE WITH LEAD JOINTS. CAST IRON PIPE WITH LEAD JOINTS MAY ALSO BE REQUIRED WHERE THE BUILDING SEWER IS EXPOSED TO DAMAGE BY TREE ROOTS. IF INSTALLED IN FILL OR UNSTABLE GROUND, THE BUILDING SEWER SHALL BE LAID ON A SUITABLE CONCRETE BED OR GRADE OR SHALL BE OF CAST IRON SOIL PIPE WITH LEAD JOINTS.

LATERALS
 FOR GRAVITY SYSTEMS, THE SIZE AND SLOPE OF THE BUILDING SEWER SHALL BE SUBJECT TO THE APPROVAL OF THE DPH DIRECTOR BUT IN NO EVENT SHALL THE DIAMETER BE LESS THAN SIX (6) INCHES. THE SLOPE OF SUCH PIPE SHALL NOT BE LESS THAN ONE-QUARTER (1/4) INCH PER FOOT. THE BUILDING SEWER SHALL BE LAID AT UNIFORM GRADE AND IN STRAIGHT ALIGNMENT INsofar AS POSSIBLE. CHANGES IN DIRECTION SHALL BE MADE ONLY WITH BENDED HANCKLES AS APPROVED BY THE DPH DIRECTOR. A CLEAN-OUT SHALL BE LOCATED A MINIMUM OF FOUR (4) INCHES ABOVE THE BASEMENT FLOOR.

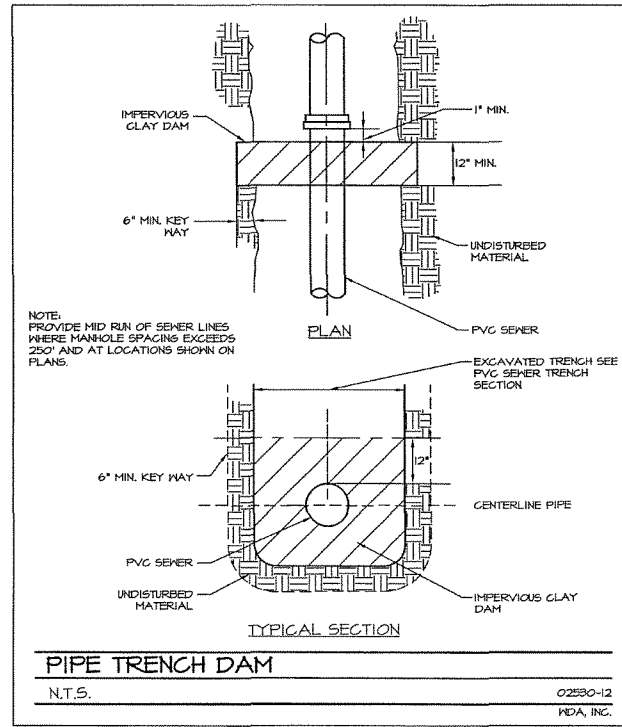
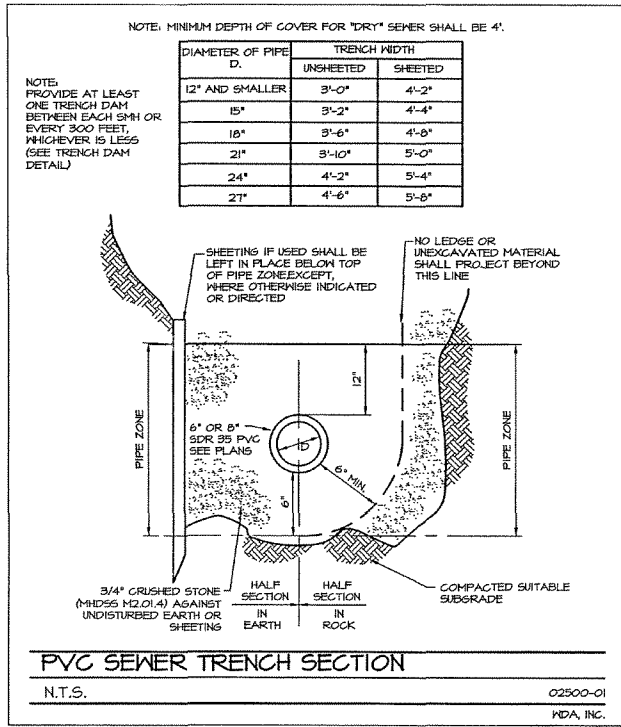
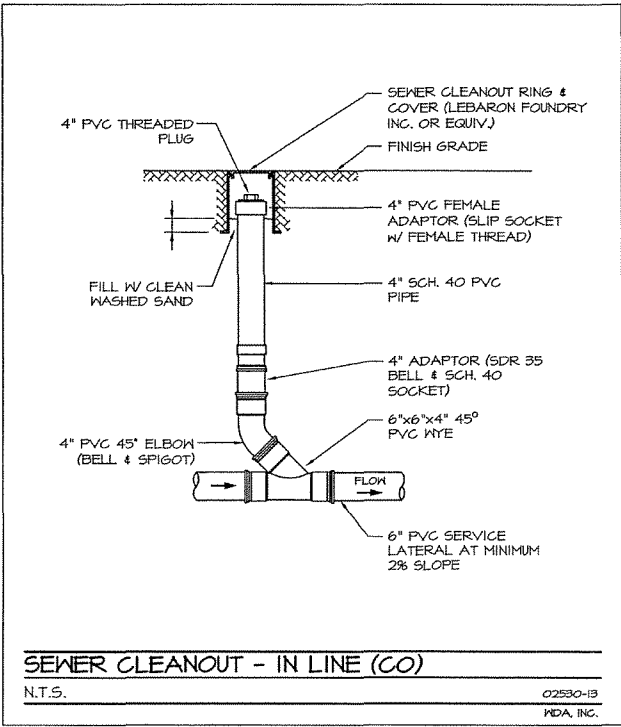
JOINTS AND CONNECTIONS
 ALL JOINTS AND CONNECTIONS SHALL BE MADE WATER-TIGHT.

POLYVINYL CHLORIDE (PVC) JOINT SPECIFICATIONS
 JOINTS FOR SDR 35 AND SCHEDULE 40 PVC PIPE SHALL BE O RING RUBBER GASKET JOINTS OR PREMOLDED GASKET JOINTS.

LEAK DETECTION
 ALL PARTS OF NEW BUILDING DRAINS AND SEWERS SHALL WITHSTAND TEN (10) FEET OF HEAD FOR A MINIMUM PERIOD OF FIFTEEN (15) MINUTES AT A TEMPERATURE ABOVE 32 DEGREES FAHRENHEIT WITHOUT OBSERVABLE LEAKAGE. AIR PRESSURE TESTS ARE AN APPROVED SUBSTITUTE WHEN WITNESSED BY THE DPH DIRECTOR.

LOADS ON STRUCTURES
 THE COVERS OF ALL BUILDING DRAIN AND BUILDING SEWER MANHOLES, INSPECTION CHAMBERS, CLEANOUTS, AND THE LIKE SHALL BE WATER-TIGHT AND SHALL BE CAPABLE OF WITHSTANDING, WITHOUT DAMAGE OR DISPLACEMENT, ANY TRAFFIC LOADS (HS-20 LOADINGS) TO WHICH THEY MAY BE SUBJECTED.

INTERCEPTORS
 GREASE, OIL AND SAND INTERCEPTORS SHALL BE PROVIDED WHEN, IN THE OPINION OF THE DPH DIRECTOR, THEY ARE NECESSARY FOR THE PROPER HANDLING OF LIQUID WASTES CONTAINING GREASE IN EXCESSIVE AMOUNTS, OR ANY FLAMMABLE WASTES, SAND OR OTHER HARMFUL MATERIALS. ALL INTERCEPTORS SHALL BE OF TYPE AND CAPACITY APPROVED BY THE DPH DIRECTOR AND BUILDING INSPECTOR AND SHALL BE SO LOCATED AS TO BE READILY AND EASILY ACCESSIBLE FOR CLEANING AND INSPECTION.



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PAULA A. THOMPSON
 CIVIL
 No. 41360
 REGISTERED PROFESSIONAL ENGINEER

PREPARED BY: _____

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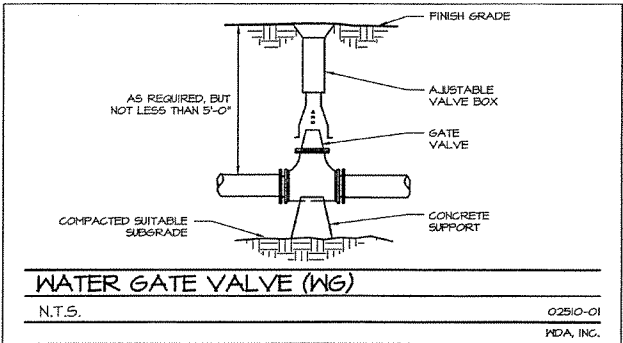
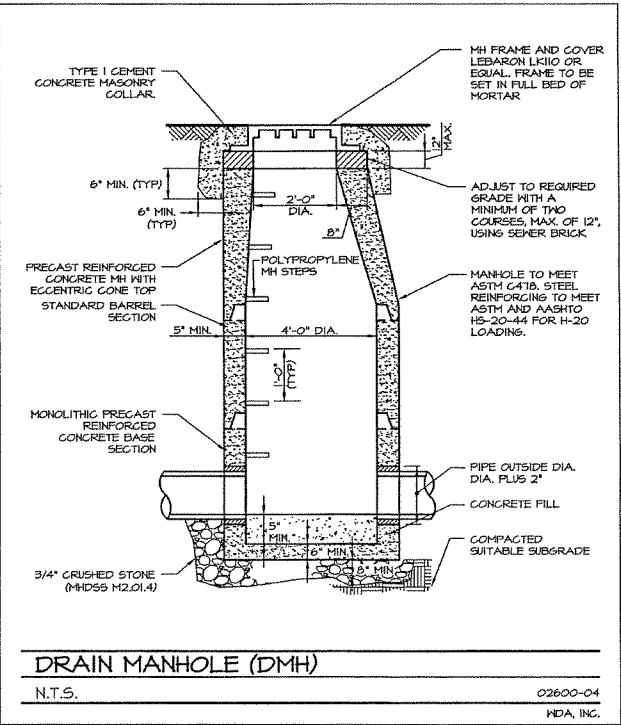
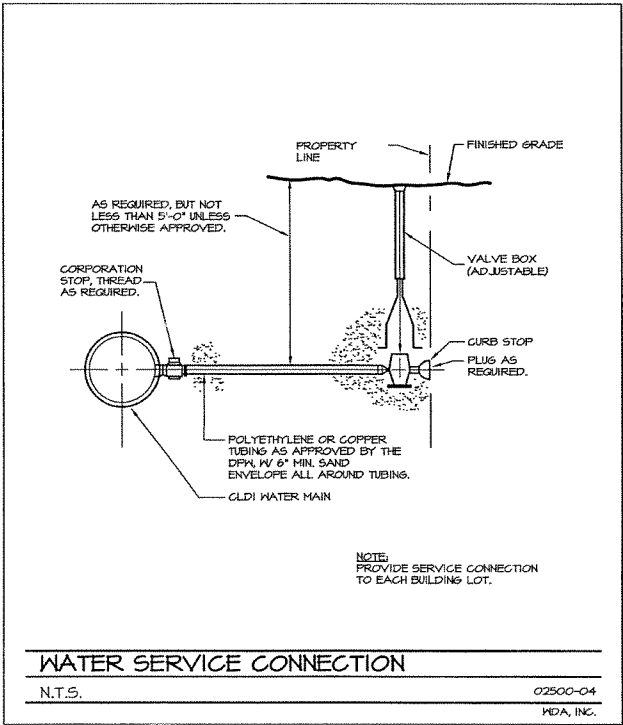
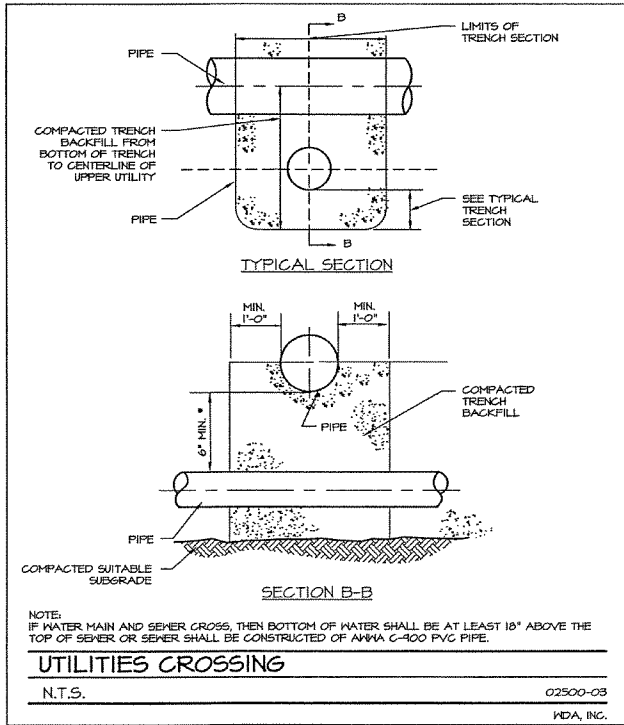
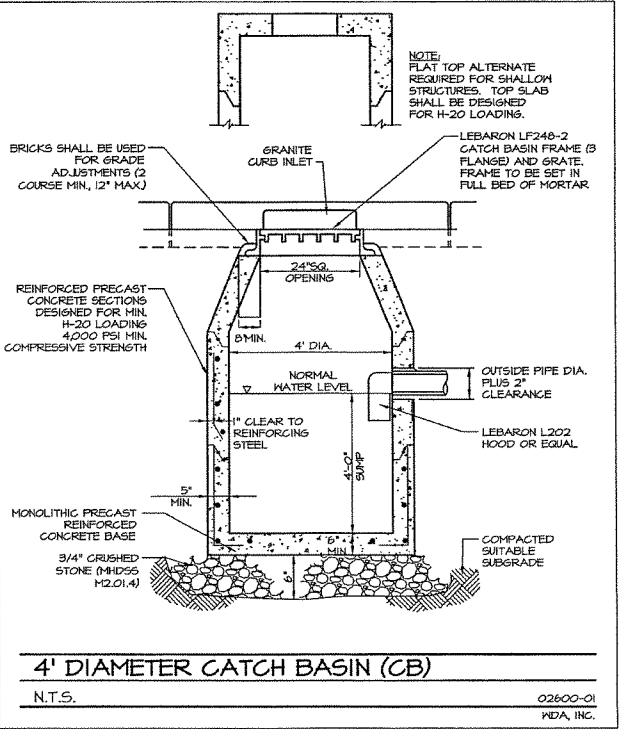
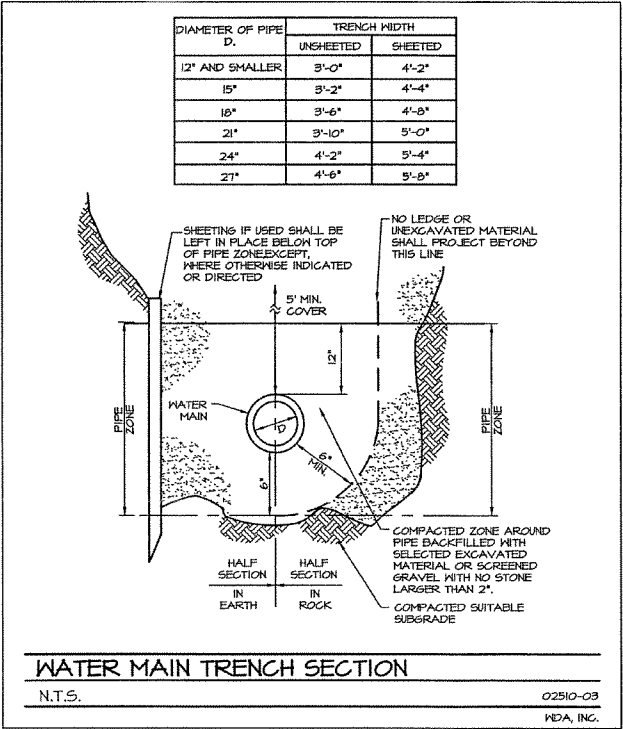
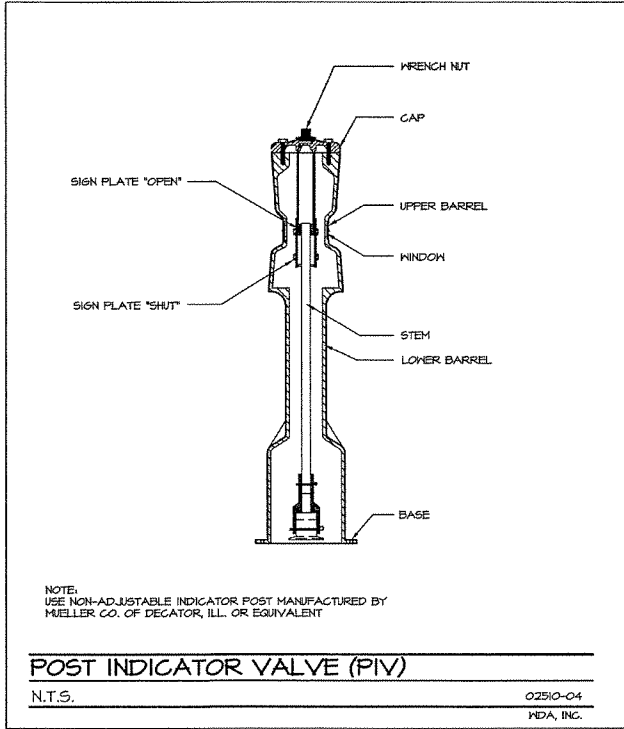
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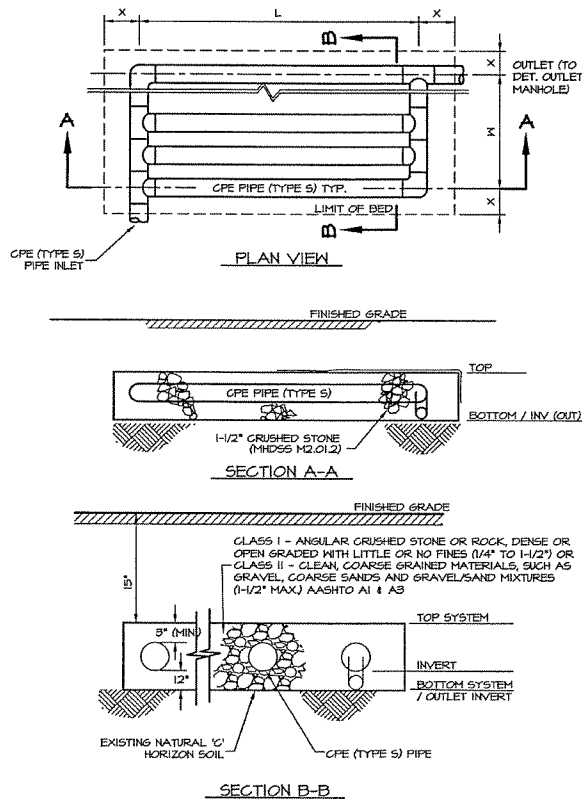
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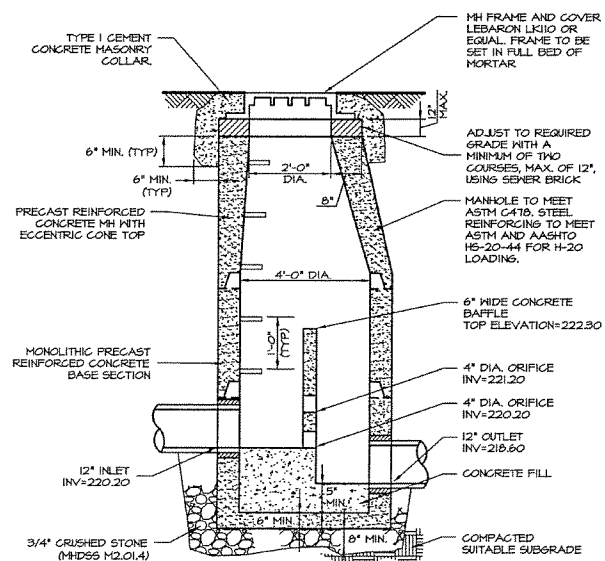
(L) PIPE LENGTH (FEET)	# PIPES	(W) WIDTH (INCHES)	(X) BOTTOM SYSTEM ELEV.	PIPE DIA. (IN)	INVERT ELEV.	TOP OF SYSTEM ELEV.	OUTLET DIA. (IN)	OUTLET INV.
44	6	10.1	30	220.2	24	221.2	12	220.2

GROUNDWATER AND MOTTILNS WERE NOT OBSERVED TO ELEVATION 221.1.

UNDERDRAIN IS PROVIDED BELOW BOTTOM OF DETENTION SYSTEM TO LOWER GROUNDWATER TO PREVENT BUOYANCY. BEGINNING INVERT 219.00, SLOPE AT 0.005 TO WYE CONNECTION (INV=219.20) BEYOND DET-OUTLET MANHOLE (SEE GRADING AND DRAINAGE PLAN)

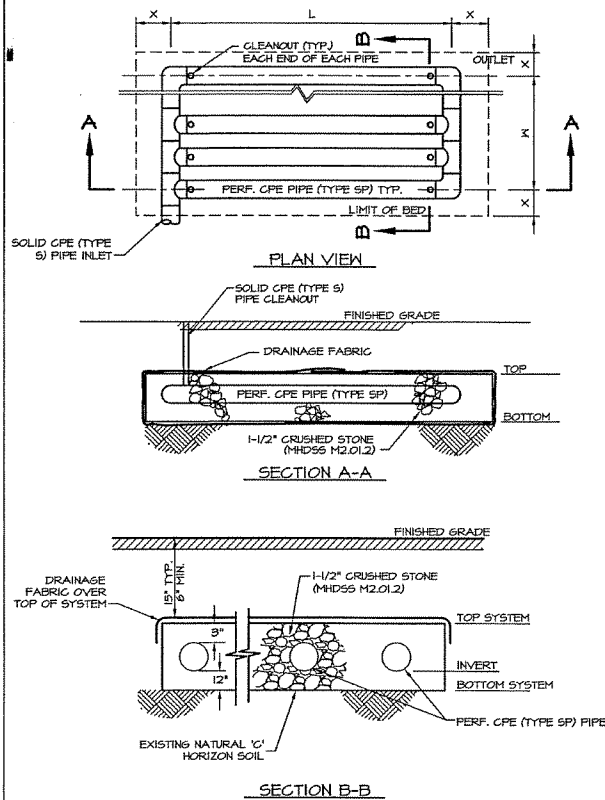
STORMWATER DETENTION SYSTEM (DET)

N.T.S. 02600-23
WDA, INC.



DETENTION OUTLET MANHOLE

N.T.S. 02600-04
WDA, INC.

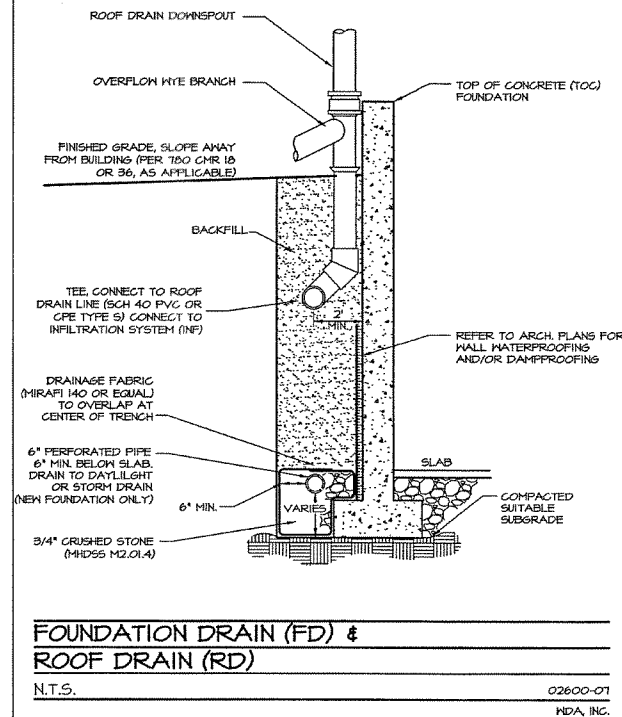


INF #	ESHS#	PIPE LENGTH (FEET)	# PIPES	(W) WIDTH (INCHES)	(X) BOTTOM SYSTEM ELEV.	PIPE DIA. (IN)	INVERT ELEV.	TOP OF SYSTEM ELEV.
101	221.4	16	2	2.9	24	222.5	12	223.5
102	N/A	16	2	2.9	24	219.1	12	220.1
103	216.0	15	3	5	32	217.0	12	218.0
104	209.5	15	3	5	32	210.5	12	211.5

ESHS# = ELEVATION OF ESTIMATED SEASONAL HIGH GROUNDWATER
N/A = GROUNDWATER AND MOTTILNS NOT OBSERVED TO ELEVATION 216.0

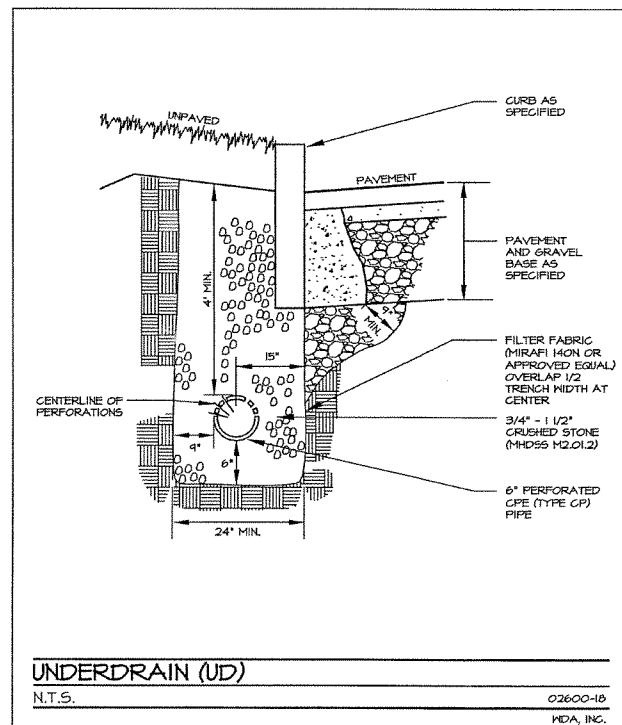
STORMWATER INFILTRATION SYSTEM (INF)

N.T.S. 02600-23
WDA, INC.



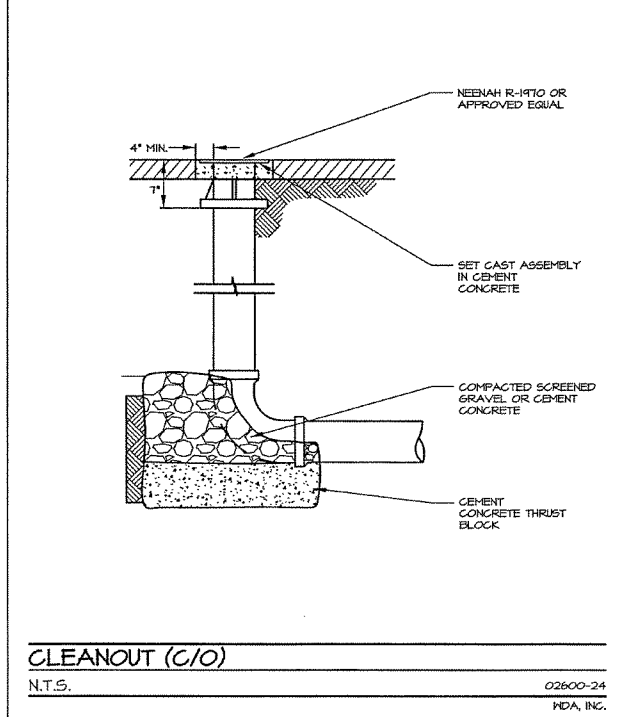
FOUNDATION DRAIN (FD) & ROOF DRAIN (RD)

N.T.S. 02600-01
WDA, INC.



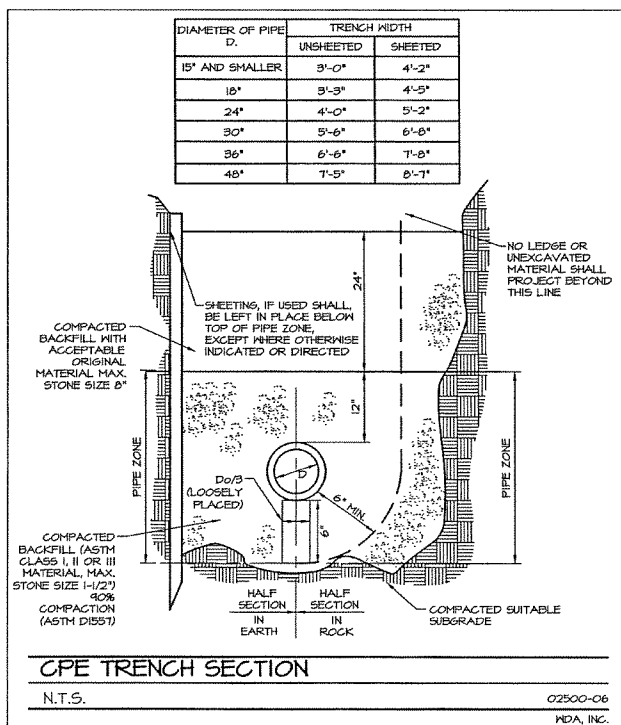
UNDERDRAIN (UD)

N.T.S. 02600-18
WDA, INC.



CLEANOUT (C/O)

N.T.S. 02600-24
WDA, INC.



CPE TRENCH SECTION

N.T.S. 02500-06
WDA, INC.

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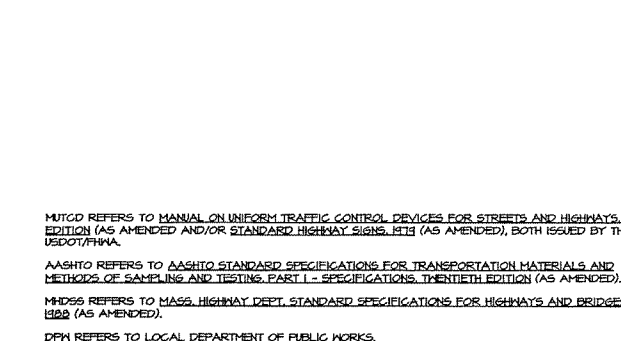
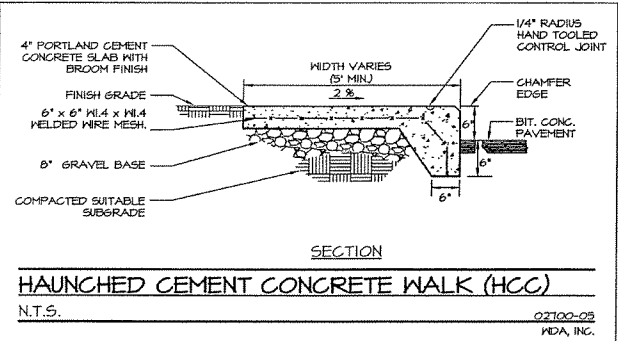
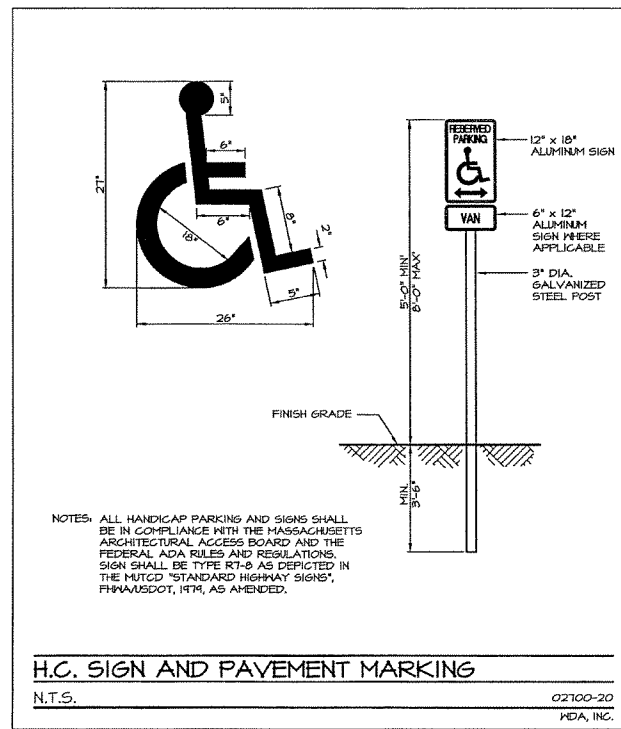
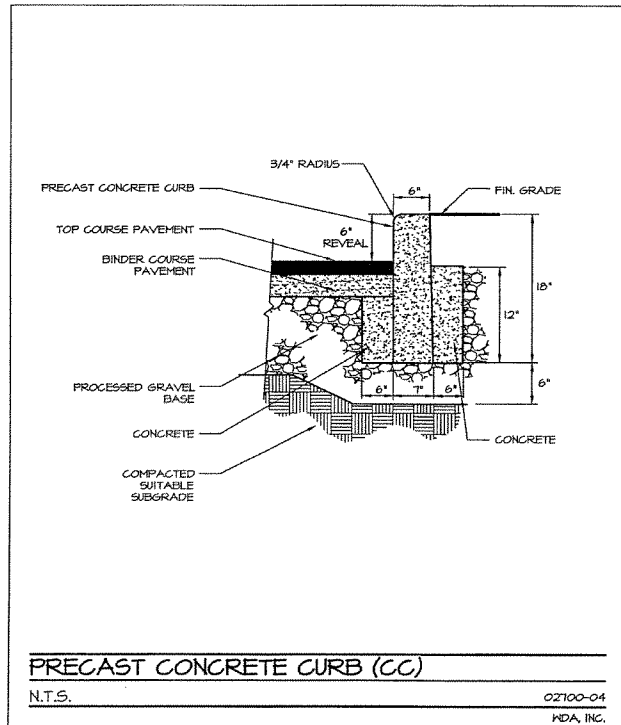
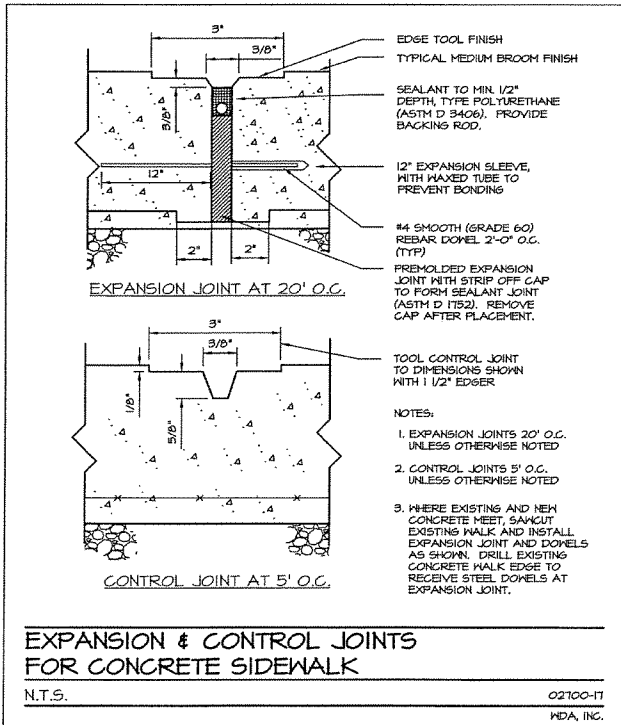
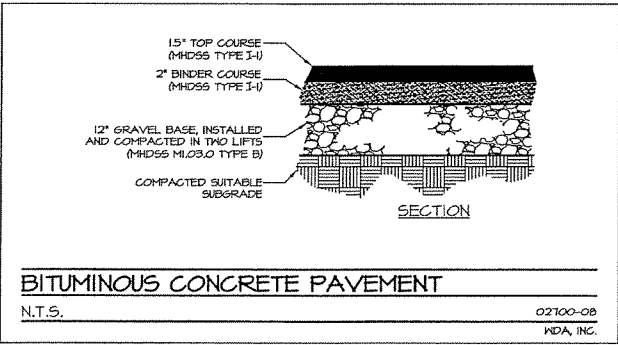
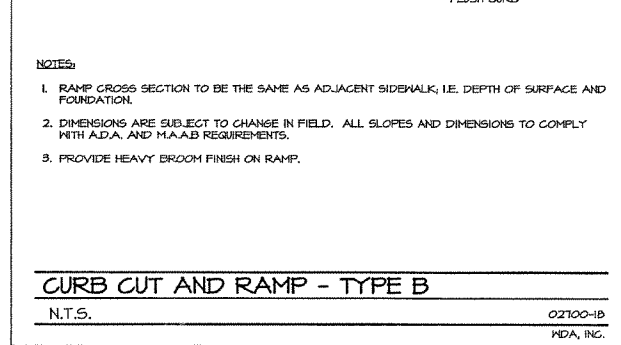
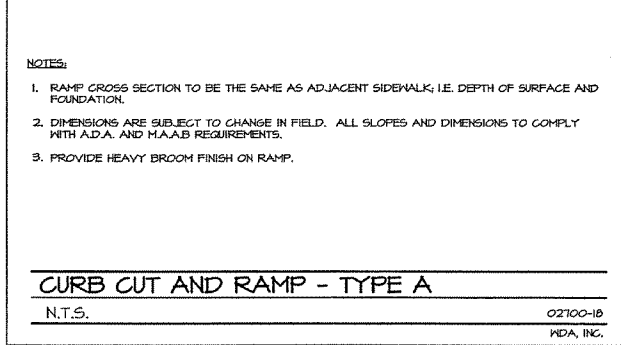
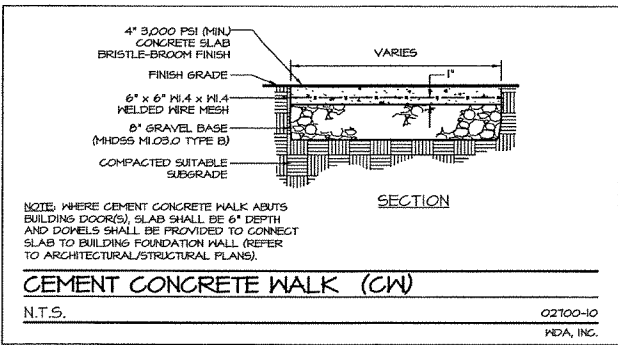
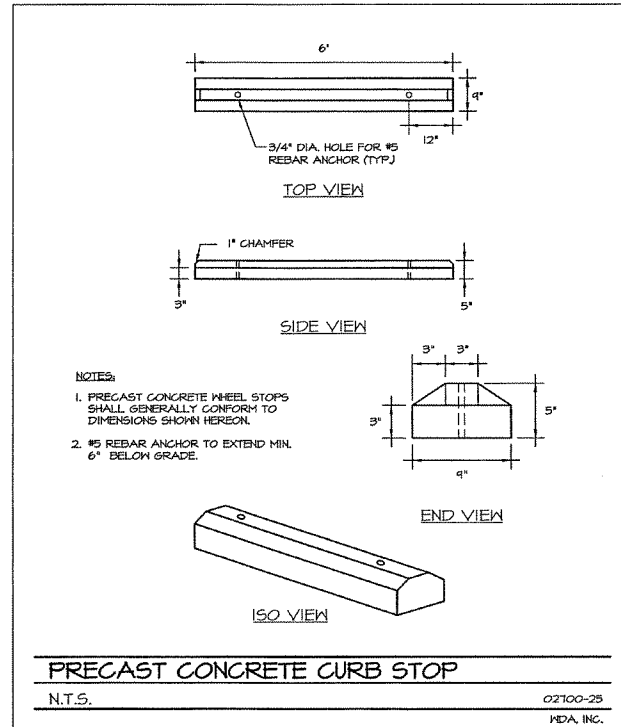
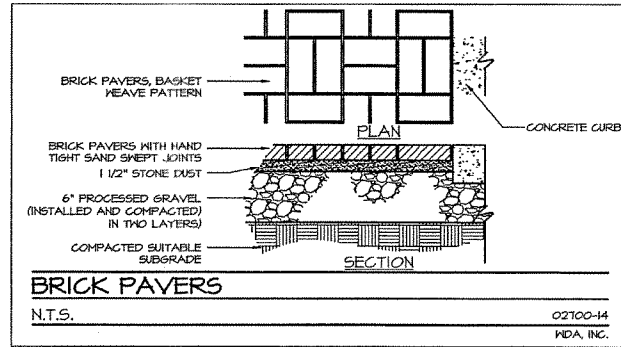
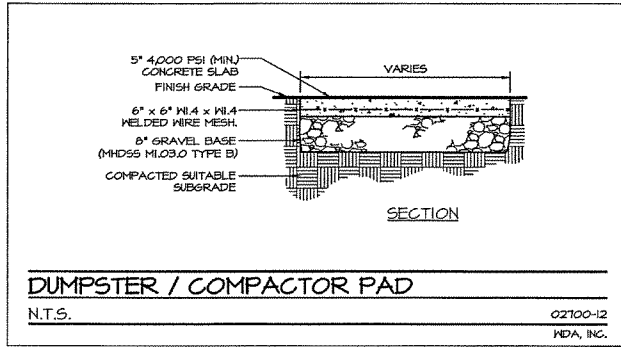
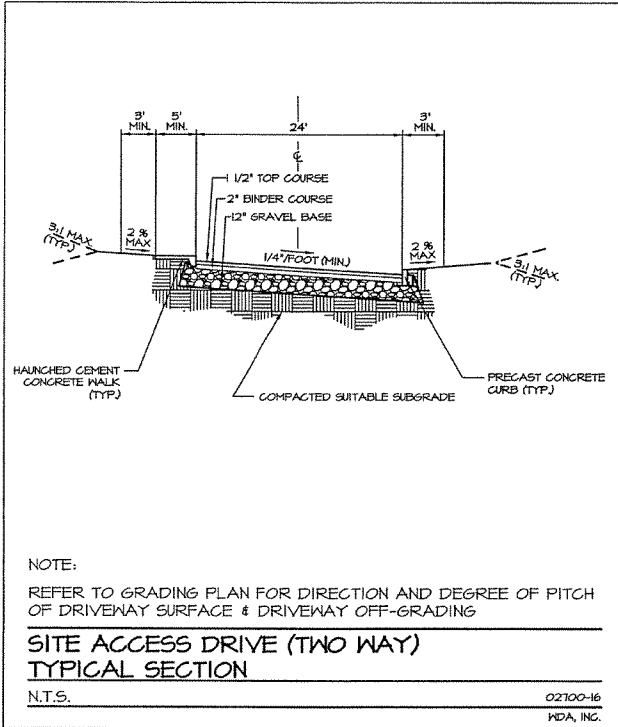
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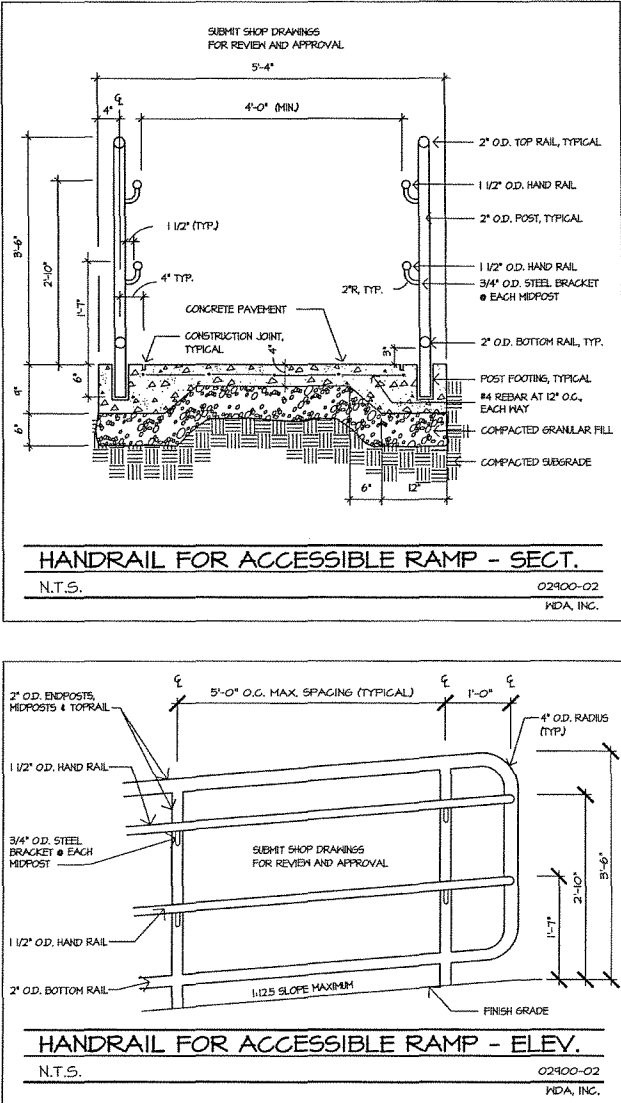
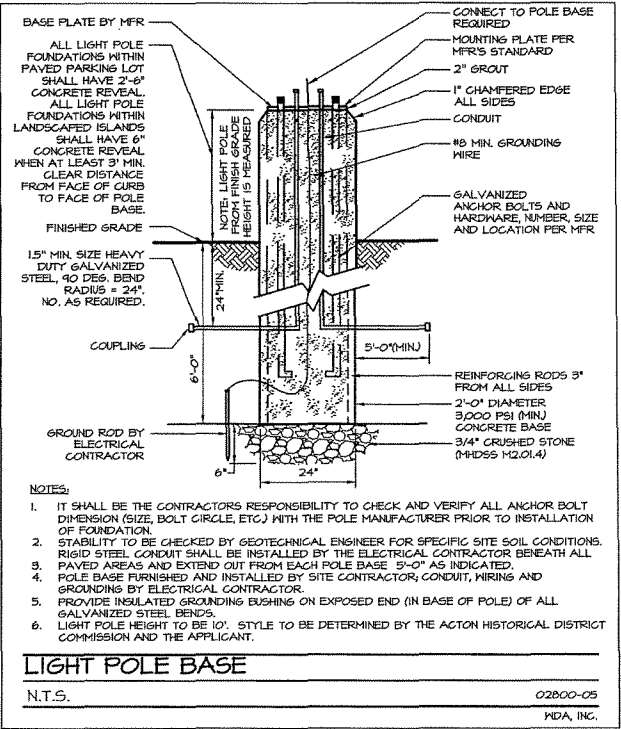
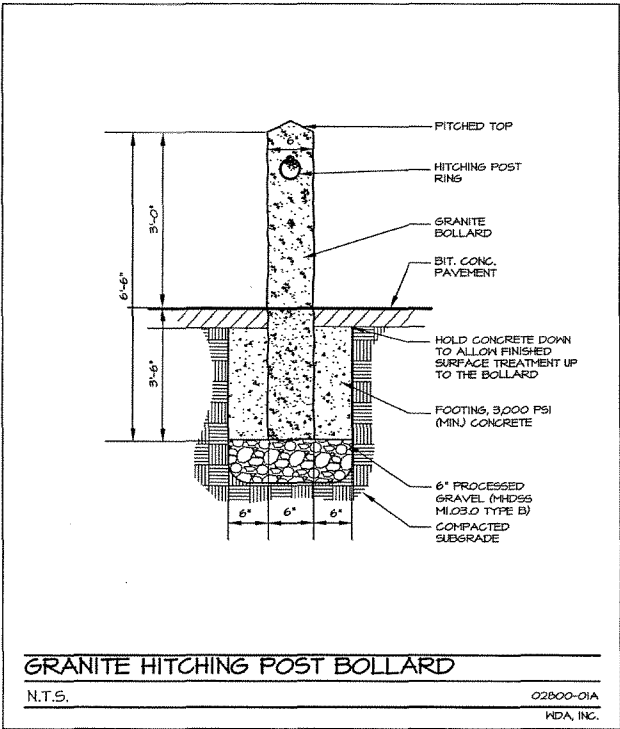
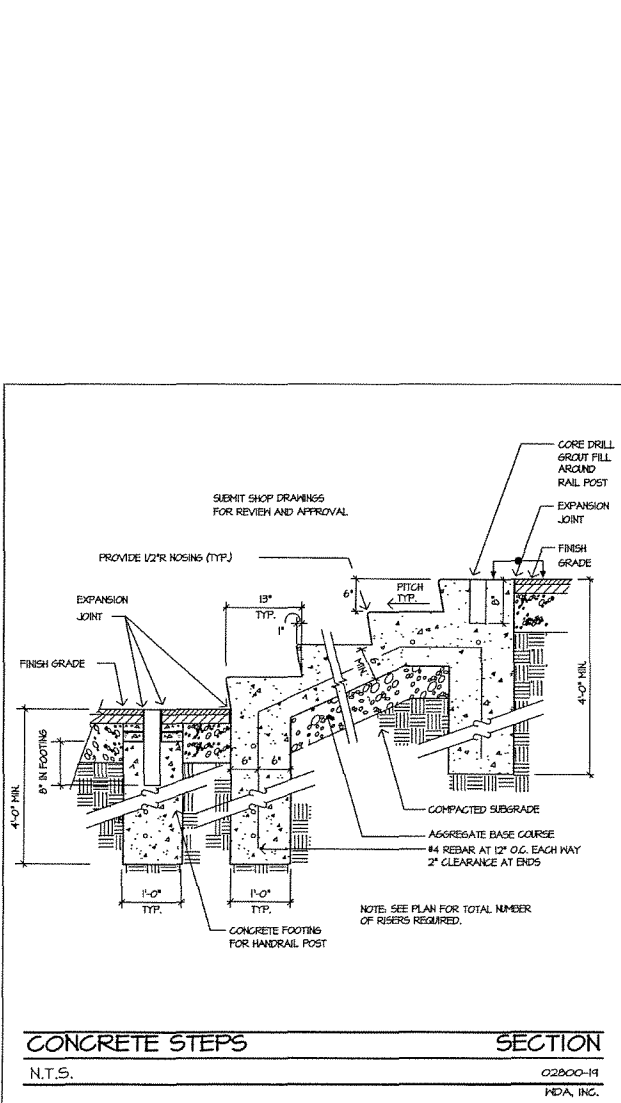
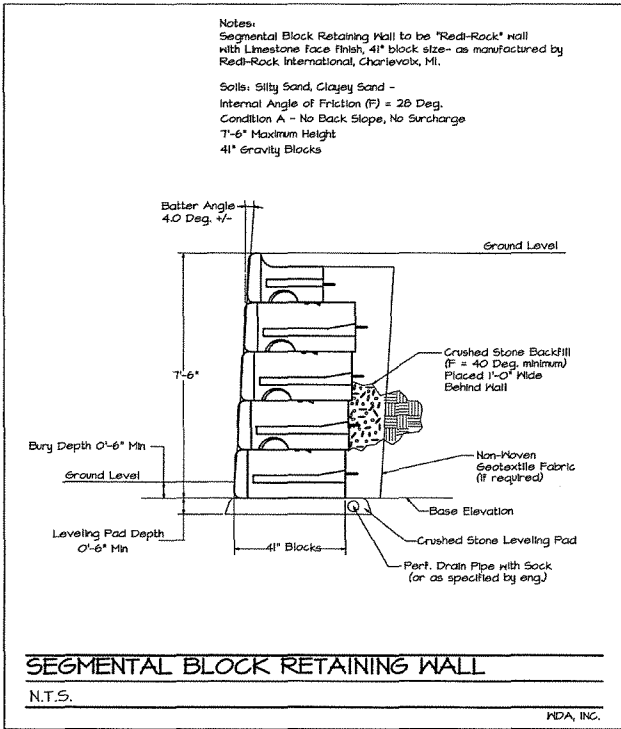
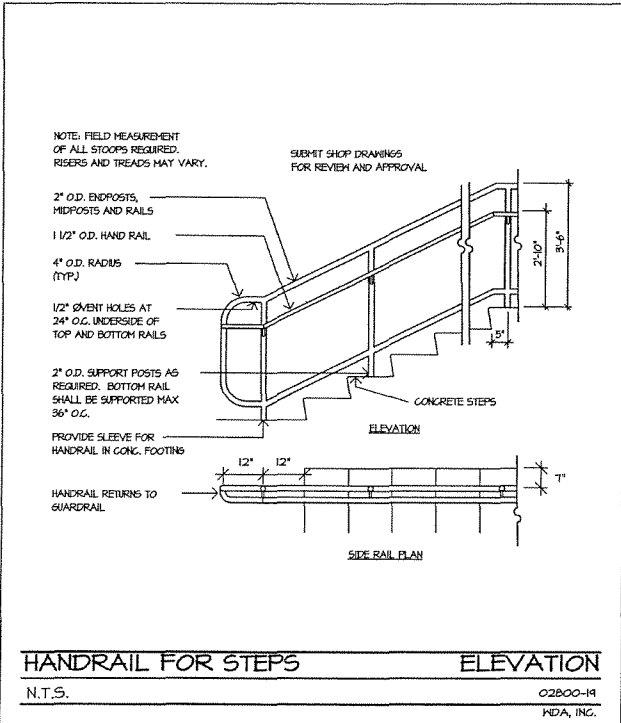
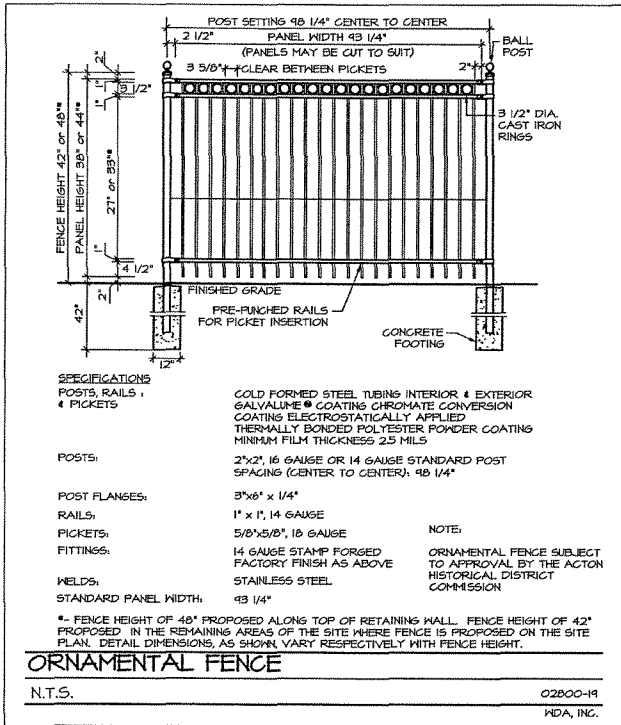
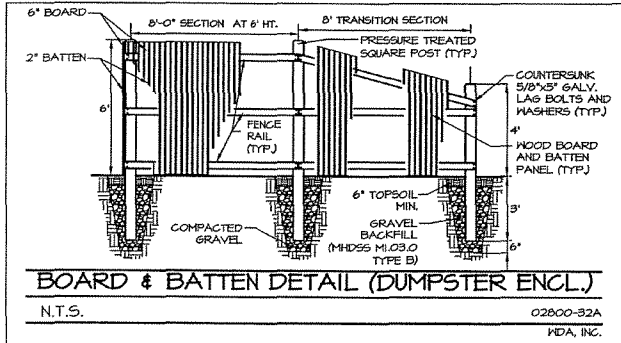
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C	10/30/06	TOWN REVIEW COMMENTS	
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A		B.O.S. DISCUSSION (PROGRESS)	
REV	DATE	DESCRIPTION	INIT
 			
PREPARED BY:			
			
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OWNER:			
MAIN STREET ACTON CORPORATION & BLUEBIRD REALTY TRUST 2 School Street Acton, MA			
APPLICANT:			
BLUEBIRD REALTY TRUST 2 School Street Acton, MA			
TITLE:			
DETAILS EXCHANGE HALL Acton, MA (Middlesex County)			
SITE PLAN SPECIAL PERMIT			
DATE:	05/ /06	SCALE:	AS-NOTED
JOB NO.:	0197.01	DWN. BY:	TJC
FILE NO.:	0197600	CHK'D BY:	
DRAWING NO.:	0197605C	SHEET:	11



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APPLICANT: BLUEBIRD REALTY TRUST
2 School Street
Acton, MA

TITLE: DETAILS
EXCHANGE HALL
Acton, MA (Middlesex County)

SITE PLAN SPECIAL PERMIT

DATE: 05/ /06 SCALE: AS-NOTED
JOB NO.: 0197.01 DWN. BY: TJC
FILE NO.: 0197600 CHK'D. BY:
DRAWING NO.: 0197606C SHEET: 12